

CANTERBURY CITY COUNCIL

DECISION NOTICE

Correspondence Address:

Josephine Baker
Redrow Homes Limited
Redrow Homes Limited
Prince Regent House
Quayside
Chatham
ME4 4QZ

**Town and Country Planning Act 1990
The Planning (Listed Buildings and Conservation Areas) Act 1990**

NOTIFICATION OF APPROVAL OF SUBMISSION OF DETAILS

Application Number: CA/21/03001
Location: Former Herne Bay Golf Club , Thanet Way, Herne Bay, Kent, CT6 7PG
Proposal: Details submitted pursuant to conditions 9,(Construction Environmental Management Plan) 10 (Construction Waste Management Plan) 13 (Drainage and Surface Water) 14 (Foul Sewerage) 16 (Contamination) 21 (Tree Protection) 22 (Arboricultural assessment) 24 (Air Quality management Plan) 25 (Noise Attenuation scheme) 26 (Ecological Mitigation Strategy) 28 (Ecological Management Plan) 29 (Lighting design Strategy) 35 (Green Space Management) 38 (Materials) and 40 (Telecommunication infrastructure) of planning permission CA//16/00378 for Phase 6a only of the development.

Take notice that **Canterbury City Council**, the district planning authority under the Town and Country Planning Act 1990, has **APPROVED** your application

This application relates only to that required under the Town and Country Planning Acts and does not include any consent or approval under any other enactment or under the Building Regulations. Any other consent or approval which is necessary must be obtained from the appropriate authority.

NOTES TO APPLICANT:

(1) This decision has been made in specific relation to the following drawings/documents:

- Fairhurst (CCC/2021/088071) - Herne Bay Phase 6A - Response to LLFA Comments - Dated 2nd December 2022
- Fairhurst Flood Risk Summary Note - Project ref 132529 (received 19th October 2022)
- Fairhurst Drainage Strategy Technical Note October 2022 132592-FAH-ZZ-XX-TN-C-02-00
- Aspect Ecology Ecological Mitigation Strategy - Dated April 2022
- Aspect Ecology - Technical Briefing Note - Lighting Design Strategy for Biodiversity for Phase 6A of development, to address Condition 29 of planning permission (ref: CA/15/00844/OUT) - Dated March 2022
- Aspect Ecology Technical Briefing Note: Updates to Documents to Address Planning Conditions Following Consultation Comments - Dated March 2022
- Aspect Ecology Landscape and Ecological Management Plan for Phase 6A of Development (Incorporating Previous Phases 1A, 1B, 2 and 5) - Dated March 2022
- Redrow Homes Construction Environmental Management Plan v1
- Redrow Homes Southern Limited report no. 26731-01(00) - Geo-environmental Site Assessment
- Drawing no. 9903 TCP 02_Phase 6 (West) - Tree constraints plan
- Drawing no. 9903 TCP 02_Phase 6 (East) - Tree constraints plan
- Aspect Arboriculture BS 5837:2012 Tree Schedule: Herne Bay Golf Course, Phase 6
- Aspect Arboriculture - Arboricultural Impact Assessment - April 2021 - 9903_AIA.002
- Doc ref - 773560-REP-ENV-001 - MLM Environmental - Air Quality Management Plan
- Loven acoustics - Environmental Noise Assessment - Dated 29th November 2021
- Wildlife protection plan - received 13th December 2021
- Landscape Management Plan Schedule of Works HML
- Drawing no. 2847-21-04-007 REV G - Materials plan (Sheet 2)
- Drawing no. 2847-21-04-006 REV I - Materials plan (Sheet 1)
- Doc. OPENREACH CONNECTORISED FIBRE NETWORK (received 13th december 2021)
- Agent to LPA - Email confirmation that gas-fired boilers are to meet a minimum standard of <40mgNOx/kWh (received 19 May 2022)

(2) You should also refer to the decision notice for all conditions that do not require the submission of details but remain in force, as well as any that require further information to be submitted to the Local Planning Authority.

(3) The discharge of the above conditions relates solely to Phase 6A of the development approved under CA//16/00378.

The application was processed having regard to the National Planning Policy Framework, which requires that where there are potential solutions to problems arising in relation to dealing with planning applications, the council will work with the applicant in a positive and proactive manner to seek solutions to those problems.



Authorised Signatory of the Council

Date of issue: 5 January 2023

canterbury.gov.uk

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Canterbury City Council
Military Road
Canterbury
CT1 1YW



Appeals to the Secretary of State

If you are aggrieved by the decision of your local planning authority to refuse permission for the proposed development or to grant it subject to conditions, then you can appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990.

| Appeal Type | Timescale |
|---|---|
| Householder application | Within 12 weeks of the date of the notice |
| Minor commercial application | Within 12 weeks of the date of the notice |
| Express consent for the display of an advertisement | Within 8 weeks of the date of receipt of the notice |
| Tree Preservation Orders | Within 28 days of the date of the notice |
| Planning application relating to the same or substantially the same land and development as is already the subject of an enforcement notice | Within 28 days of the date of the notice |
| If an enforcement notice is served relating to the same or substantially the same land and development as in your application. | Within 28 days of the date of service of the enforcement notice, or within 6 months [12 weeks in the case of a householder appeal] of the date of this notice, whichever period expires earlier |
| All others | Within 6 months of the date of the notice |

Appeals must be made using a form which you can get from the Secretary of State at Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN (Tel: 0303 444 5000) or online at <https://acp.planninginspectorate.gov.uk>

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.

The Secretary of State need not consider an appeal if it seems to the Secretary of State that the local planning authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

If you intend to submit an appeal that you would like examined by inquiry then you must notify the Local Planning Authority and Planning Inspectorate (inquiryappeals@planninginspectorate.gov.uk) at least 10 days before submitting the appeal. Further details are on GOV.UK.

IMPORTANT NOTES

Notification of permission under the Planning Acts does NOT convey consent under The Building Regulations

1. The development to which the attached planning permission relates may also require a separate approval under the Building Regulations.
2. If the planning permission refers to amended plans, any necessary Building Regulations approval should also cover those amendments.
3. If the development involves any demolition work, notice of this this may be required under the Building Act 1984.

Advice on each of the above is available from STG Building Control Partnership on 01634 331133 or by email building@stgbc.org.uk

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