

Proposed Drainage Plan

Scale 1:100

Connection Point

Scale 1:200

Section 106 Water Industry Act application to connect to the public sewer via an existing lateral has been made to Southern Water Services. No works are to commence until such time as approval has been granted.

OPERATION AND MAINTENANCE
The surface water system as indicated on this drawing is a private Sustainable Urban Drainage System (SUDS) and the Home Owners will be responsible for the inspection and maintenance for this system.

Roof Drainage System & Soakaway
It is recommended that the chambers, catchpits, and the soakaway structure are inspected as part of the general planned inspection and maintenance regime for the property, but certainly at no greater intervals than once a year.

Annual Inspection to include:

- Lift manhole covers to the catchpits and check general condition
- Note that the chambers are constructed as catch-pits and from the construction detail it can be seen that there is a 400mm sump for silt collection below the standing water that will need to be dipped and empty as required.
- Review quantities of silt removed and consider whether inspections should be increased or possibly reduced to every two years.
- Carry out works as identified from inspection.

Five year Inspection / Five Year Anniversary:

- Rod and flush all pipework to ensure no blockages and free flow of water to the catch pits and to check overall integrity and remove any silt.
- Carry out a rapid 'Flush' through of the system (works during a dry period).

Permeable Paving Drive & Paths
The System relies upon the permeability of the finished surface to allow for surface water to percolate through the open joints of the blocks and through the 'no-fines' bedding layer and sub-base to the sub-soil below. The open graded sub-base also allows for the storage of extreme storm events that has been designed to cater for a 1in100 year return period with a 30% allowance for climate change.

The most common form of failure of permeable paving systems is the 'clogging' of the joints and accumulation of silt within the sub-grade. A regular planned inspection and maintenance regime is essential to ensure the effectiveness of the system. The following regime is based upon the guide to maintenance produced by Marshalls Paving, the supplier of the 'Priora' blocks specified.

It is recommended that a regular visual inspection of the paving is carried out, but certainly at no greater intervals than once a year. Observe the performance of the paving during heavy periods of rain to ensure no ponding or standing water.

Annual Inspection to include:

- Vacuum sweep or pressure-wash the surface of the paving to remove debris from the open-joints and remove any weed growth.
- Apply a suitable weed-killer if required.


25-30 Year Anniversary
Lift and set-a-side the block paving and replace the sub base as per the construction detail shown on the drawing.

Maintenance Records.
Record the date of each inspection along with a brief description of any works carried out.

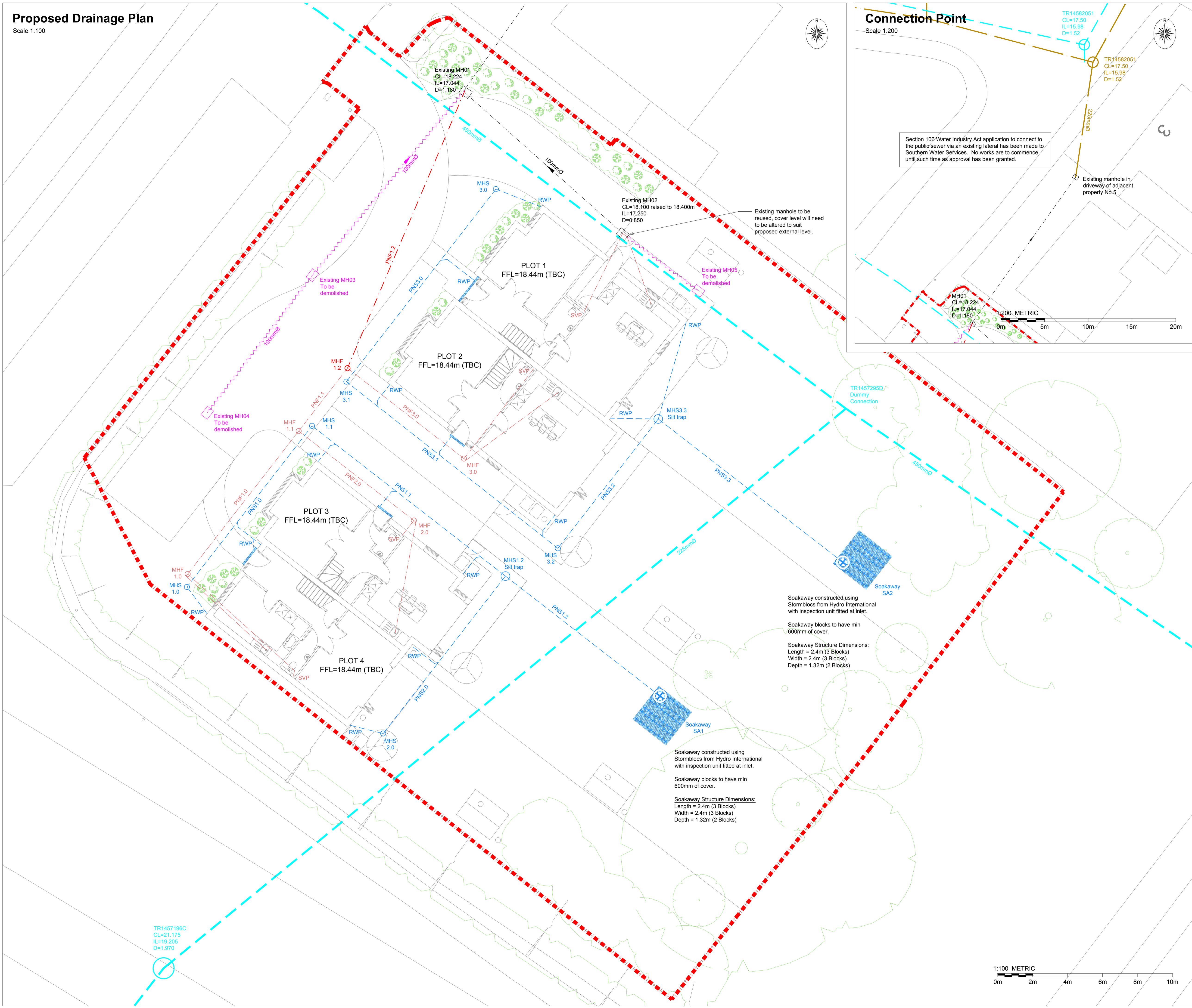
DRAWING LEGEND

- - - - - Site boundary line
- EXISTING PUBLIC SEWERS**
- Public foul water sewer
- □ Public foul water manhole
- Public surface water sewer
- □ Public surface water manhole
- EXISTING PRIVATE DRAINAGE**
- - - - - Private foul water drain
- □ Private foul water manhole
- ~ ~ ~ ~ ~ Private drain to be demolished / grubbed out
- S104 - PROPOSED WORKS**
- - - - - S104 adoptable foul water sewer
- □ S104 adoptable foul water manhole
- PROPOSED PRIVATE DRAINAGE**
- Private foul water drainage
- □ Private foul water manhole
- SVP Soil vent pipe
- - - - - Private surface water drainage
- □ Private surface water manhole
- RWP Rainwater pipe
- TD Threshold drain (details by others)

Rev	Description	Date
04	Soakaways re-sized following receipt of percolation test results	06/06/2017
03	Site plan revised, scheme altered to suit.	09/01/2017
02	Soakaways relocated 5.0m from Southern Water Sewers	05/01/2017
01	Connection Point Inset added as per Southern Water comments	16/08/2016
00	First issue to client	18/07/2016

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CLIENT Building Design Studio		SCALE 1:100	DATE 18/07/2016
DRAWING Proposed Site Drainage Plan		SHEET 18/07/2016	SIZE A1
STATUS FOR INFORMATION		DRAWING NO. EMC-2016-94-03	REV. 04

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1:100 METRIC
0m 2m 4m 6m 8m 10m