

Discharge of Planning Condition 13 Details of Surface Water Drainage Planning Consent APP/J2210/W/17/3178561

for

Demolition of existing buildings
Erection of a terrace of 5 x two bedroom houses
Erection of a terrace of 4 x one bedroom mews houses
Erection of a building of 4 x two bedroom
and 4 x one bedroom flats
Days Yard, Shaftsbury Road, Whitstable, CT5 1DS

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on behalf of

Mr Tom George

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1.0 INTRODUCTION Background

1.1 Tridax Ltd have been commissioned by Mr Tom George and requested to prepare Maintenance Schedule details for the foul & surface water drainage required for the discharge of condition 13 of the planning inspectorate approval APP/J2210/W/17/3178561 (in conjunction with Canterbury City Council ref 16/02931) as extract Frame 1 below.

13) No development shall take place until details of the means of foul and surface water disposal have been submitted to and agreed in writing by the local planning authority. Such details shall include a detailed sustainable surface water drainage scheme for the site which is compliant with the non-

statutory technical standards for sustainable drainage (or similar or replacement standard) and shall demonstrate the surface water run off generated up to and including the 100yr critical storm (including allowance for climate change) will not exceed the run off from the undeveloped site following the corresponding rainfall event, and so as not to increase the risk of flooding both on- or off-site, and include details for the long term maintenance of all surface water drainage infrastructure on site, and include details of the provision of measures to prevent the discharge of surface water onto the highway. These details shall also include a timetable for its implementation and a management and maintenance plan for the lifetime of the development. The development shall be carried out in accordance with such details as are agreed and thereafter maintained.

Frame 1 ~ Planning Condition Extracts

2.0 OPERATION & MAINTENANCE STATEMENT

2.1 The surface water disposal system as indicated on drawing EMC-2018-054-02 is to remain private and the property owner will be responsible for the inspection and maintenance for the systems.

2.2 It is recommended that the inspection chambers, flow control chamber, catch pits, and the attenuation tanks are inspected as part of the general planned inspection and maintenance regime for the development, but certainly at no greater intervals than once a year.

2.3 Annual Inspection to include;

- Lift access covers to inspection chambers and the attenuation tank to check general condition and empty any debris/silt as required by licensed carrier.
- Review quantities of silt removed and consider whether inspections should be increased or possibly reduced to every two years.
- Orifice plate to be inspected, cleaned and any defects repaired.
- Carry out works as identified from inspection.

2.4 Five year Inspection / Five Year Anniversary

- Rod and flush all pipe work to ensure no blockages and free flow of water to the public sewer and to check overall integrity and remove any silt.
- Carry out a rapid 'Flush' through of the system (works during a dry period).

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Dec 2018

APPENDIX A

Tridax Drawings EMC-2018-054-01 Site Location Plan

EMC-2018-054-02 Proposed Drainage Plan

EMC-2018-054-03 Drainage Schedules

EMC-2018-054-04 Proposed Drainage Details Sheet 1

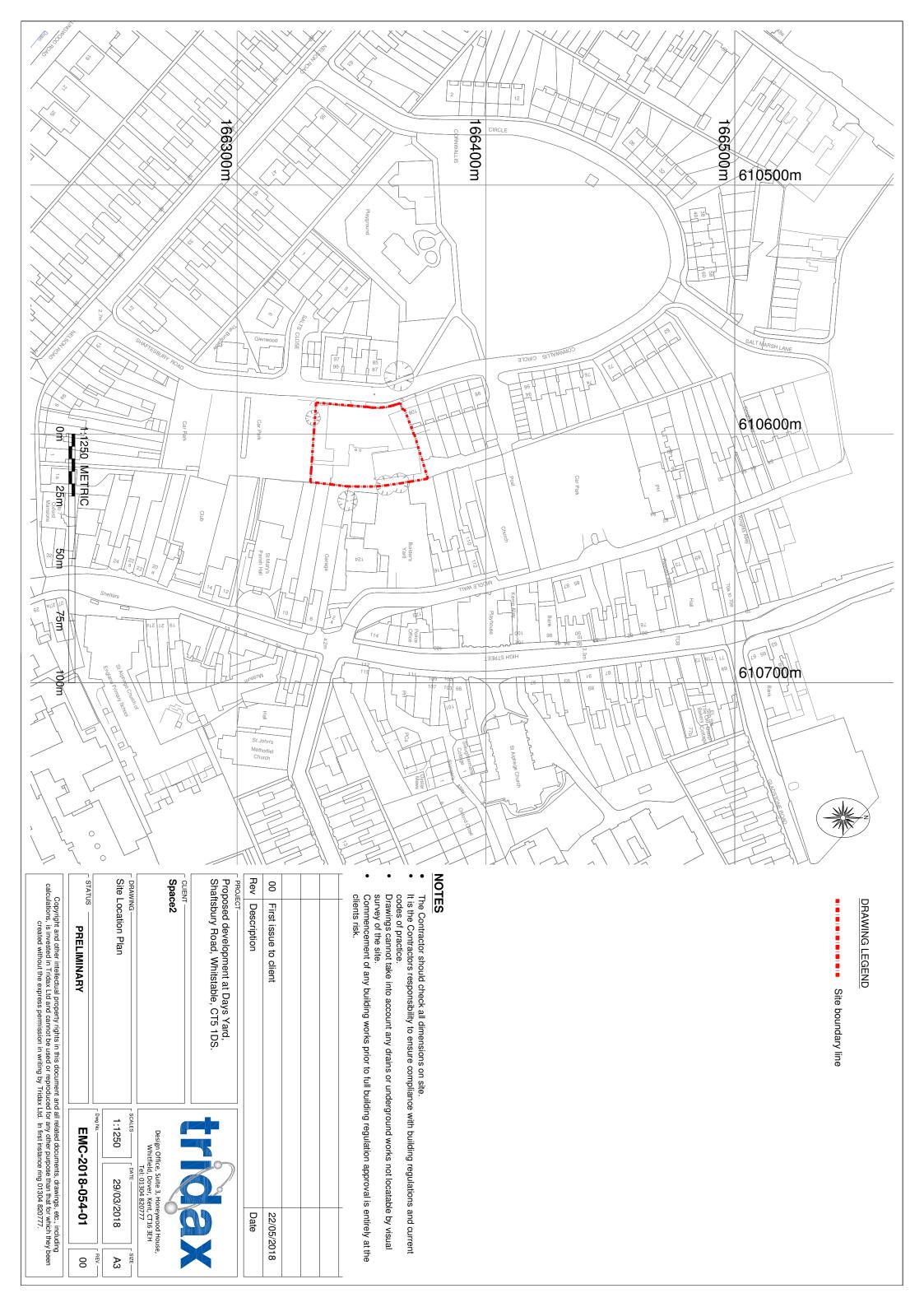
EMC-2018-054-05 Proposed Drainage Details Sheet 2

EMC-2018-054-10 Exceedence Plan

EMC-2018-054-19 Existing Drainage

EMC-2018-054-20 Proposed Drainage GF Level

EMC-2018-054-21 Proposed Drainage FF Level





FOUL WAT	FOUL WATER MANHOLE SCHEDULE	SCHEDULE						
Manhole Ref.	Cover Level (m)	Invert Level (m)	Backdrop Invert LvI (m)	Manhole Depth (m)	Manhole Type	Manhole Ø (mm)	Cover/Frame Grade	Remarks
MHF1.0	2.580	1.720		0.860	Type 3	450	B125	Sealed cover and frame
MHF1.1	2.615	1.603		1.012	Туре 3	450	D400	ı
MHF1.2	2.615	1.486		1.129	Туре 3	450	D400	
MHF1.3	2.615	1.370		1.245	Туре 3	450	D400	1
MHF1.4	2.625	1.253		1.372	Туре 3	450	D400	•
MHF1.5	2.600	1.075		1.525	Туре 3	450	D400	
MHF2.0	2.580	1.720		0.860	Туре 3	450	B125	Sealed cover and frame
MHF3.0	2.580	1.720	,	0.860	Туре 3	450	B125	Sealed cover and frame
MHF4.0	2.580	1.720		0.860	Type 3	450	B125	Sealed cover and frame
MHF5.0	2.735	2.000		0.735	Type 3	450	B125	•
MHF5.1	2.735	1.934		0.801	Туре 3	450	B125	•
MHF5.2	2.735	1.850		0.885	Туре 3	450	B125	•
MHF5.3	2.735	1.720		1.015	Туре 3	450	B125	•
MHF6.0	2.825	2.234		0.591	Type 4	300	A15	-
MHF6.1	2.825	2.089		0.736	Туре 3	450	A15	-
MHF6.2	2.825	2.030		0.795	Туре 3	450	A15	-
MHF6.3	2.825	1.886		0.939	Туре 3	450	A15	•
MHF6.4	2.825	1.827		0.998	Туре 3	450	A15	•
MHF6.5	2.825	1.682		1.143	Туре 3	450	A15	•
MHF6.6	2.825	1.623		1.202	Туре 3	450	A15	•
MHF6.7	2.825	1.478		1.347	Туре 3	450	A15	•
MHF6.8	2.825	1.419		1.406	Туре 3	450	A15	-
MHF6.9	2.700	1.177		1.523	Туре 3	450	D400	•
MHF6.10	2.665	1.123		1.542	Туре 3	450	D400	•

Tank to have high level ventilation to allow the escape of any gas build-up	n to allow the es	evel ventilatic	ς to have high I	Tan				
	ks)	ensions locks) ocks) ayers of Bloc	Tank Structure Dimensions Length = 2.4m (2 Blocks) Width = 3.6m (6 Blocks) Depth = 0.84m (2 Layers of Blocks)	Tanl Leng Widt Dep				
cks manufactured by Brett Martin W=0.6m x D=0.420m)	ate blocks manu 1.2m x W=0.6m	sing StormCr nensions: L=	Tank constructed using StormCrate bloc (Individual block dimensions: L=1.2m x V		PNS2.3 4 IL = 1.366	PNS2.3 IL = 1.374	2.740 Approx	Tank A
			Remarks		n) Depth(s) (m)	d Inlet / Outlet Level(s) (m)	Cover / Ground Level (m)	Tank Ref.
					K SCHEDULE	NAT NOITAU	SURFACE WATER ATTENUATION TANK SCHEDULE	SURFACE
Sealed cover and frame	B125	450	Туре 3	0.600	,	2.010	2.610	MHS7.0
Sealed cover and frame	B125	450	Туре 3	0.600		2.010	2.610	MHS6.0
Sealed cover and frame	B125	450	Туре 3	0.600	,	2.010	2.610	MHS5.0
•	B125	450	Туре 3	1.055	,	1.510	2.565	MHS4.4
•	B125	450	Туре 3	0.925	•	1.640	2.565	MHS4.3
1	B125	450	Туре 3	0.838	,	1.727	2.565	MHS4.2
•	B125	450	Туре 3	0.751	1	1.814	2.565	MHS4.1
Sealed cover and frame	B125	450	Туре 3	0.610	,	2.010	2.610	MHS4.0
•	B125	450	Туре 3	1.132	•	1.693	2.825	MHS3.1
•	B125	300	Type 4	0.600		2.200	2.800	MHS3.0
600mm deep sump	B125	1200	Type 2 Catchpit	IN=1.454 OUT=1.454 SL=2.054	1	IN=1.276 OUT=1.276 SL=0.676	2.730	MHS2.4
600mm deep sump	B125	1200	Type 2 Catchpit	IN=1.250 OUT=1.390 SL=1.990	1	IN=1.520 OUT=1.380 SL=0.780	2.770	MHS2.3
•	A15	450	Туре 3	1.040	,	1.560	2.600	MHS2.2
•	A15	300	Type 4	0.820	,	1.780	2.600	MHS2.1
•	A15	300	Type 4	0.600		2.000	2.600	MHS2.0
600mm deep sump Outlet to have 42mm orifice to limit flows to 4 litres per second PNS4.4 inlet IL=1.462	D400	1200	Type 2 Flow Control + Catchpit	IN=1.455 OUT=1.455 SL=2.055	ı	IN=1.210 OUT=1.210 SL=0.610	2.665	MHS1.4
600mm deep sump PNS3.1 inlet IL=1.638	D400	1200	Type 2 Catchpit	IN=1.440 OUT=1.440 SL=2.040	ı	IN=1.225 OUT=1.225 SL=0.625	2.665	MHS1.3
600mm deep sump PNS1.1 inlet IL=1.572	D400	1200	Type 2 Catchpit	OUT=1.328 SL=1.928	ı	OUT=1.337 SL=0.737	2.665	MHS1.2
•	A15	450	Туре 3	1.168	•	1.632	2.800	MHS1.1
ı	A15	300	Type 4	0.600	•	2.000	2.600	MHS1.0
Remarks	Cover/Frame Grade	Manhole Ø (mm)	Manhole Type	Manhole Depth (m)	Backdrop Invert LvI (m)	Invert Level (m)	Cover Level (m)	Manhole Ref.

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Pipe Ref.	Pipe Length (m)	Pipe Ø (mm)	Pipe Material	Gradient (1 in ?)	Bedding	Remarks
PNS1.0	29.38	100	UPVC	80	Class S	1
PNS1.1	2.41	100	UPVC	40	Class S	ı
PNS1.2	16.77	150	UPVC	150	Class S	1
PNS1.3	1.95	150	UPVC	150	Class S	1
PNS1.4	3.78	150	UPVC	102	Class S	1
PNS2.0	21.78	150	UPVC	100	Class S	1
PNS2.1	17.54	150	UPVC	80	Class S	1
PNS2.2	1.59	150	UPVC	40	Class S	ı
PNS2.3	1.13	150	UPVC	200	Class S	ı
PNS2.4	2.16	150	UPVC	200	Class S	ı
PNS2.5	7.80	150	UPVC	150	Class S	ı
PNS3.0	20.22	100	UPVC	40	Class S	ı
PNS3.1	2.20	100	UPVC	40	Class Z	ı
PNS4.0	6.78	100	UPVC	46.5	Class Z	ı
PNS4.1	6.93	100	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.2	6.97	150	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.3	6.35	150	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.4	3.84	150	UPVC	80	Class Z	1
PNS5.0	6.44	100	UPVC	27.7	Class Z	
PNS6.0	6.10	100	UPVC	19.1	Class Z	ı
PNS7.0	5.77	100	UPVC	11.6	Class Z	1

SURFACE	SURFACE WATER ATTENUATION TANK SCHEDULE	ATION TANK SC	HEDULE	
Tank Ref.	Cover / Ground Level (m)	Inlet / Outlet Level(s) (m)	Inlet / Outlet Depth(s) (m)	Remarks
Tank A	2.740 Approx	PNS2.3 IL = 1.374	PNS2.3 IL = 1.366	Tank constructed using StormCrate blocks manufactured by Brett Martin (Individual block dimensions: L=1.2m \times W=0.6m \times D=0.420m)
				Tank Structure Dimensions Length = 2.4m (2 Blocks) Width = 3.6m (6 Blocks) Depth = 0.84m (2 Layers of Blocks)
				Tank to have high level ventilation to allow the escape of any gas build-up within the tank. Tank A to be joined to Tank B via multiple 150mmØ pipes
Tank B	2.740 Approx	PNS2.4 IL = 1.286	PNS2.4 IL = 1.454	Tank constructed using StormCrate blocks manufactured by Brett Martin (Individual block dimensions: L=1.2m \times W=0.6m \times D=0.420m)
				Tank Structure Dimensions Length = 13.2m (11 Blocks) Width = 3.6m (6 Blocks) Depth = 0.84m (2 Layers of Blocks)
				Tank to have high level ventilation to allow the escape of any gas build-up within the tank. Tank B to be joined to Tank A via multiple 150mmØ pipes

FOUL WATER PIPE SCHEDULE

Pipe Ref.

PNF1.0

PNF1.1 PNF1.2 PNF1.3 PNF1.4 PNF1.5

Class Z

PNE3.0 PNE4.0

7.04
6.97
6.97
6.97
7.64
6.97
7.64
6.27
7.64
6.27
7.64
6.27
7.64
6.27
7.78
9.03
5.59
3.96
5.59
3.04
1.23
3.04
1.23
3.04
3.04
3.04
3.04
4.74

Class Z

Class Z

Class Z

Class Z

Class Z

Class S

Class S

PNF2.0

PNF5.1
PNF5.2
PNF6.0
PNF6.1
PNF6.2
PNF6.3
PNF6.4
PNF6.5
PNF6.6
PNF6.6
PNF6.7

Class S S Class S Class S Class S S Class S Cl

Pipe Ref.	Pipe Length (m)	Pipe Ø (mm)	Pipe Material	Gradient (1 in ?)	Bedding	Remarks
PNS1.0	29.38	100	UPVC	80	Class S	1
PNS1.1	2.41	100	UPVC	40	Class S	1
PNS1.2	16.77	150	UPVC	150	Class S	1
PNS1.3	1.95	150	UPVC	150	Class S	•
PNS1.4	3.78	150	UPVC	102	Class S	•
PNS2.0	21.78	150	UPVC	100	Class S	
PNS2.1	17.54	150	UPVC	80	Class S	1
PNS2.2	1.59	150	UPVC	40	Class S	•
PNS2.3	1.13	150	UPVC	200	Class S	•
PNS2.4	2.16	150	UPVC	200	Class S	•
PNS2.5	7.80	150	UPVC	150	Class S	•
PNS3.0	20.22	100	UPVC	40	Class S	•
PNS3.1	2.20	100	UPVC	40	Class Z	•
PNS4.0	6.78	100	UPVC	46.5	Class Z	•
PNS4.1	6.93	100	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.2	6.97	150	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.3	6.35	150	UPVC	80	Class S & Z	Concrete bed and surround to pipe under driveways
PNS4.4	3.84	150	UPVC	80	Class Z	•
PNS5.0	6.44	100	UPVC	27.7	Class Z	•
PNS6.0	6.10	100	UPVC	19.1	Class Z	1
PNS7.0	5.77	100	UPVC	11.6	Class Z	

- The location of any existing drains and sewers are to be accurately located and reported pr to any work commencing on site.
 All materials, workmanship and construction to be in accordance with the requirements of 'Sewers for Adoption 7th Edition' and published addendum and corrigendum.
 Channel drains shown are only to collect surface water run-off from hard paved areas and door thresholds and are not intended to collect groundwater or run-off from gardens and landscaped areas.
 All abandoned pipework to be completely removed or grout filled unless stated otherwise.

NOTES

- The Contractor should check all dimensions on site. It is the Contractors responsibility to ensure compliance with building regulations and current codes of practice.

 Drawings cannot take into account any drains or underground works not locatable by visual survey of the site.

 Commencement of any building works prior to full building regulation approval is entirely at the clients risk.

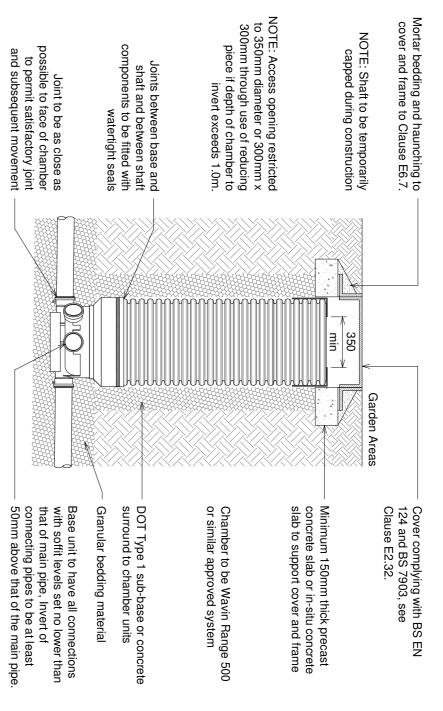
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PRELIMINARY

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Typical Type 3 Chamber Detail (Non-Entry)

Maximum depth of cover level to soffit of pipe 3.0m
 For individual access cover grades see schedules.



NOTE: Plastic chambers and rings in areas subject to vehicle loading shall comply with BS EN 13598-2, in all other areas they are to comply with BS EN 13598-1 or BS EN 13598-2 or have equivalent independent approval.

Clause E6.6 - Pipes and Joints Adjacent to Structures
1. Where rigid pipes are used, a flexible joint (rocker pipe) shall be provided as close as is feasible to the outside face of any structure into which a pipe is built, within 150mm for pipe diameters less than 300mm. The design of the joints shall be compatible with any subsequent movement. E.12.

The recomm	,
ended length o	
of the next	
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(rocker pipe	
) awa	
y from t	
he str	
ucture	
shall b	
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	The recommended length of the next pipe (rocker pipe) away from the structure shall be as shown in Table E.

direction of flow, all pipes enter	600	150
No incoming branch is to be less	Rocker Pipe (mm)	(mm)
 Stub pipes into structures shall 	Effective length of	Nominal Diameter
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ess than 90° from the outgoing ering the bottom of the manhole າll be of rigid mat

Clause E6.7 - Setting Manhole Covers and Frames Manhole frames shall be set to level, bedded and haunched extended the frame in mortar, in accordance with the manufacturers instru Frames for manhole covers shall be bedded in a polyester resin based mortar in all situations where covers are sited in NRSWA Road Categories I,II or III (i.e. all except residential cul-de-sacs).

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NRSWA road category	Description	Minimum frame depth (mm)
_	Trunk roads and dual carriageways	150
=	All other A roads	150
≡	Bus services	150
₹	All other roads except residential cul-de-sacs	150

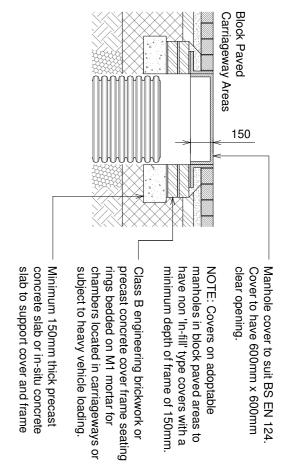
Residential cul-de-sacs

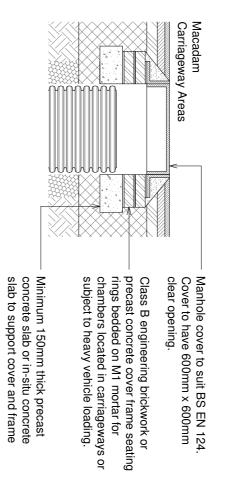
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- Clause: E2.32 Manhole Covers and Frames

 Manhole covers and frames shall comply with the relevant provisions of BS EN124, BS7903 and Highways Agency Guidance Document HA 104/09. They shall be of a non-rocking design which does not rely on the use of cushion inserts.
- Manhole covers on foul-only sewers shall be of low leakage types in order to prevent excessive surface water ingress.
- Minimum frame depths for NRSWA road shall be as Table E.6. As a minimum, Class D400 covers shall be used in carriageways of roads (including pedestrian streets), hard shoulders and parking areas used by all types of road vehicles.

Type 3 Alternate Cover Details scale 1:25 All covers to comply with BS EN 124 and BS7903, see Clause E2.32. All covers to have mortar bedding and haunching to cover and frame to Clause E6.7





NOTE:

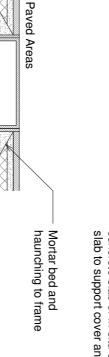
1. Plastic chambers and rings shall comply with BS EN 13598-1 or BS EN 13598-2 or have equivalent independent approval.

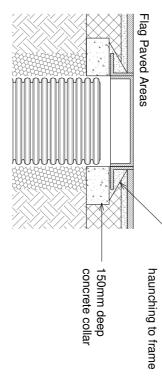
2. Backfill to be well compacted around shaft of chamber.

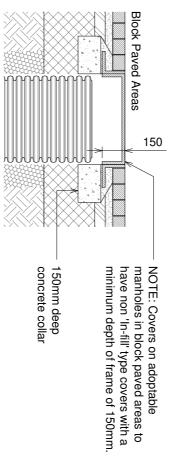
Granular bedding material

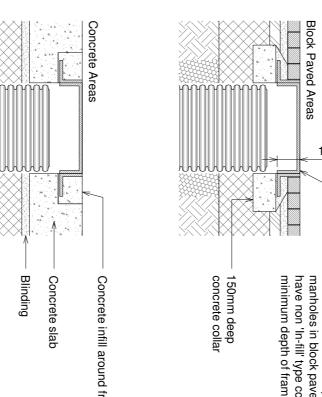
se: E2.32 Manhole Covers and Frames
Manhole covers and frames shall comply with the relevant provisions of BS EN124,
BS7903 and Highways Agency Guidance Document HA 104/09. They shall be of a
non-rocking design which does not rely on the use of cushion inserts.

Manhole covers on foul-only sewers shall be of low leakage types in order to prevent excessive surface water ingress.









Typical Type 4 Chamber Detail (Non-Entry)

Max depth from cover to soffit of pipe 2.0m

For individual access cover grades see schedules.

All covers to comply with BS EN 124 and BS 7903, see Clause E2.32. All covers to have mortar bedding and haunching to cover and frame to Clause E6.7

Mortar bed and haunching to frame

150mm deep concrete collar

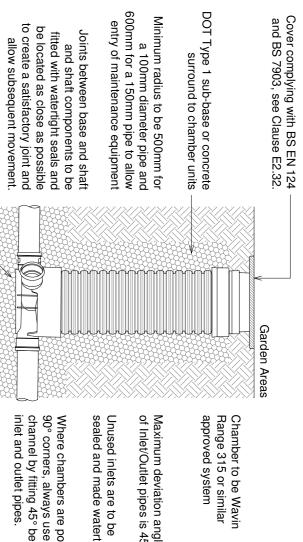
Type 4 - Alternate

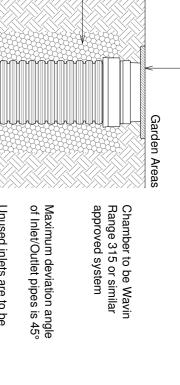
Cover Details

Channel Drain Detail

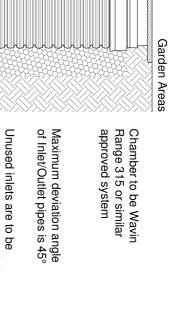
Channels to have trash boxes installed at outlet locations

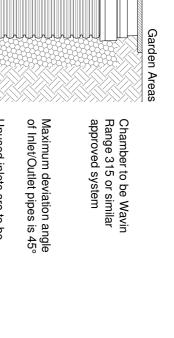
Ductile Iron grating to cover channel, cover rating to suit location.



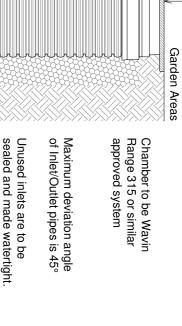


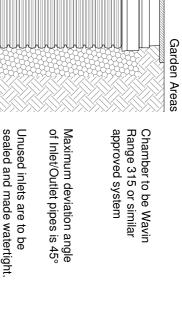




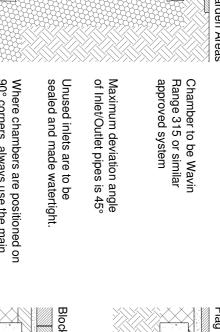


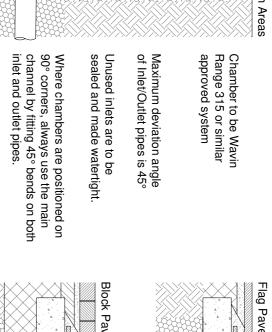


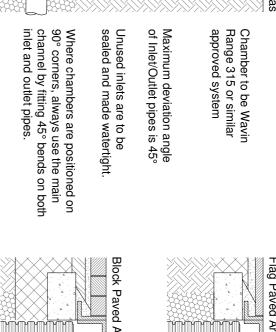


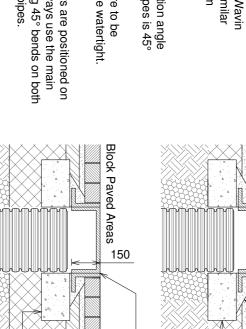


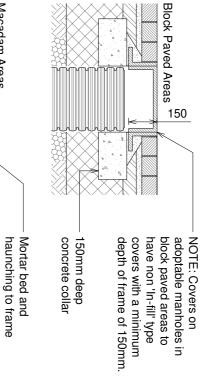




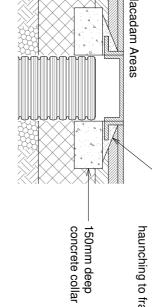


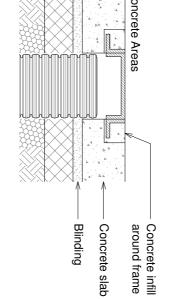


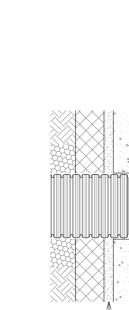




Minimum 150mm thick bed and surround to channel drain







Minimum frame depths for NRSWA road categories I to IV shall be as Table E.6.

As a minimum, Class D400 covers shall be used in carriageways of roads (including pedestrian streets), hard shoulders and parking areas used by all types of road vehicles

Table E.6		
NRSWA road category	Description	Minimum frame depth (mm)
_	Trunk roads and dual carriageways	150
=	All other A roads	150
≡	Bus services	150
⋜	All other roads except	150

Residential cul-de-sacs

Clause: E6.7 Setting Manhole Covers and Frames Manhole frames shall be set to level, bedded and haunched exters the base and sides of the frame in mortar, in accordance with the manufacturers instructions.

Frames for manhole covers shall be bedded in a polyester resin bedding mortar in all situations where covers are sited in NRSWA Road Categories I, II or III (i.e. all except residential cul-de-sacs).

Typical Type 2 Catch Pit Detail

MHS1.4 - Type 2 Catch Pit / Flow Control Detail

Mortar bedding and haunching to cover and frame to Clause E6.7.

600mm x 600mm clear opening cover complying with BS EN 124 and BS 7903 with closed keyways bedded on M1 mortar and with mortar haunch.
 For cover grade see schedules.

Minimum 2 courses of Class B engineering bricks or precast concrete cover frame seating rings bedded on M1 mortar or sealing strips.

600 min

Balloon grating overflow set approx 550mm below cover level.

150mm thick In-situ concrete surround to PCC sections, concrete to be GEN3 (designed to BRE Special Digest 1 Concrete in Aggressive Ground).

1200

20mm high strength granolithic topping to sump of catchpit

600 min

Precast concrete cham rings, bedded on M1 mortar or sealing strip

225

The bottom precast sections to be built into base concrete minimum 75mm.

75

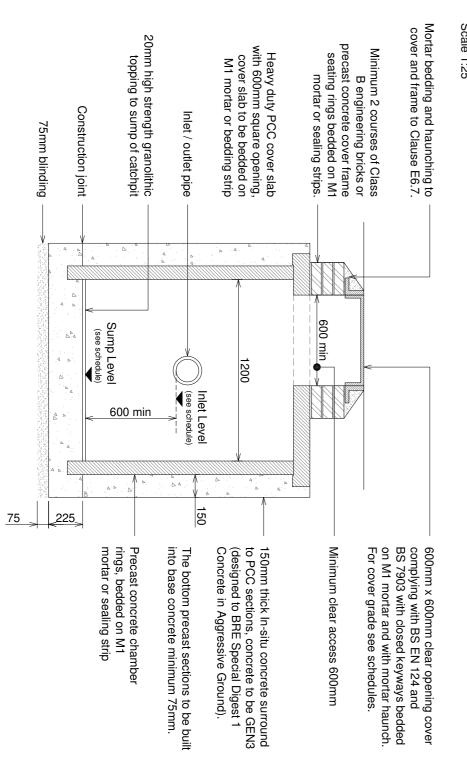
150

Inlet pipe

Flow control created by drilling a 42mmØ hole into a socket plug piece.

ertical pipe fixed to chamber wall

Outlet pipe



DRAINAGE NOTES:

NOTES

- The location of any existing drains and sewers are to be accurately located and reported position to any work commencing on site.

 All materials, workmanship and construction to be in accordance with the requirements of 'Sewers for Adoption 7th Edition' and published addendum and corrigendum.

 Channel drains shown are only to collect surface water run-off from hard paved areas and door thresholds and are not intended to collect groundwater or run-off from gardens and landscaped areas.

 All abandoned pipework to be completely removed or grout filled unless stated otherwise.

- The Contractor should check all dimensions on site. It is the Contractors responsibility to ensure compliance with building regulations and current codes of practice.

 Drawings cannot take into account any drains or underground works not locatable by visual survey of the site.

 Commencement of any building works prior to full building regulation approval is entirely at the clients risk.

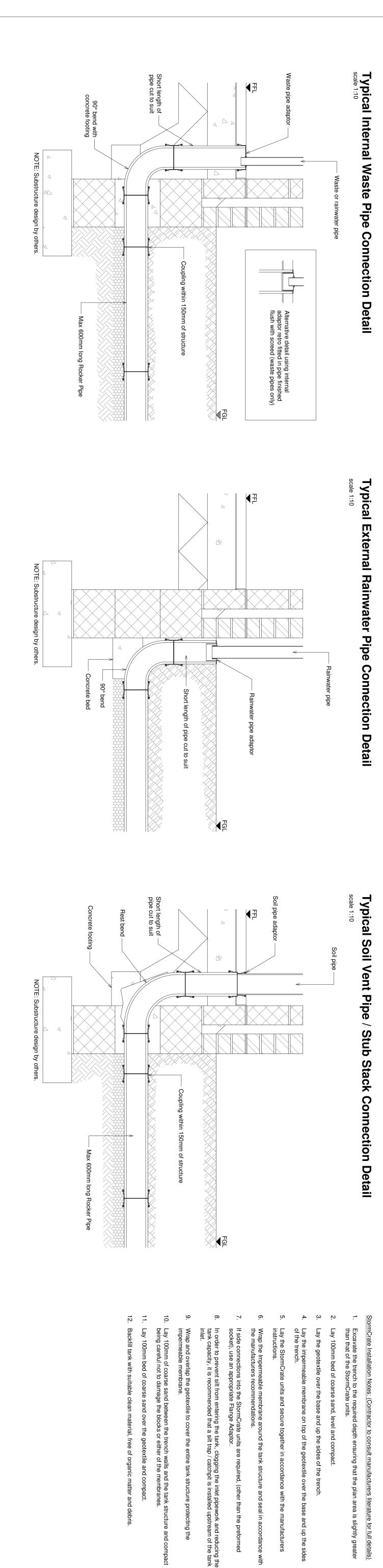


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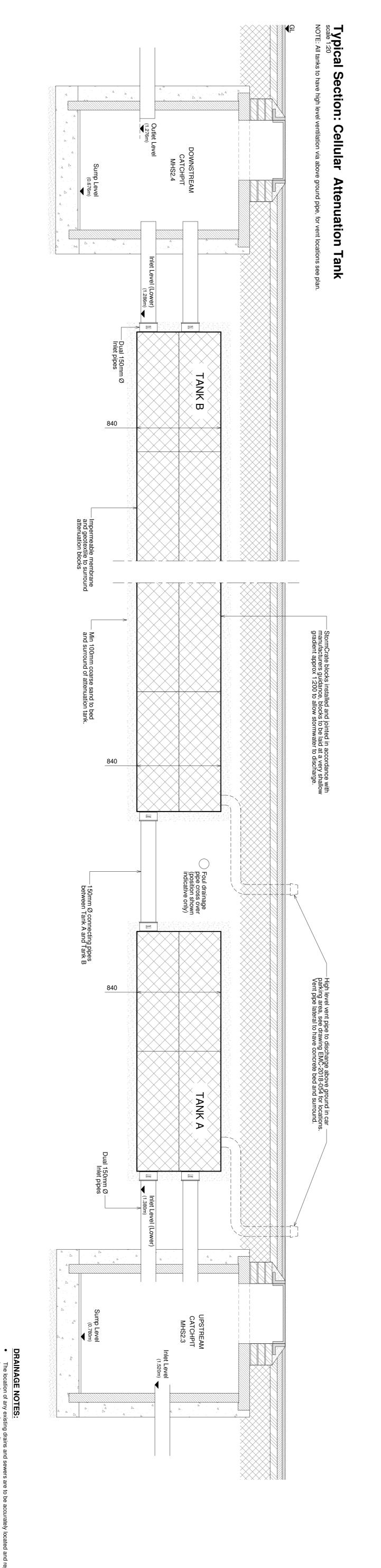
As Noted

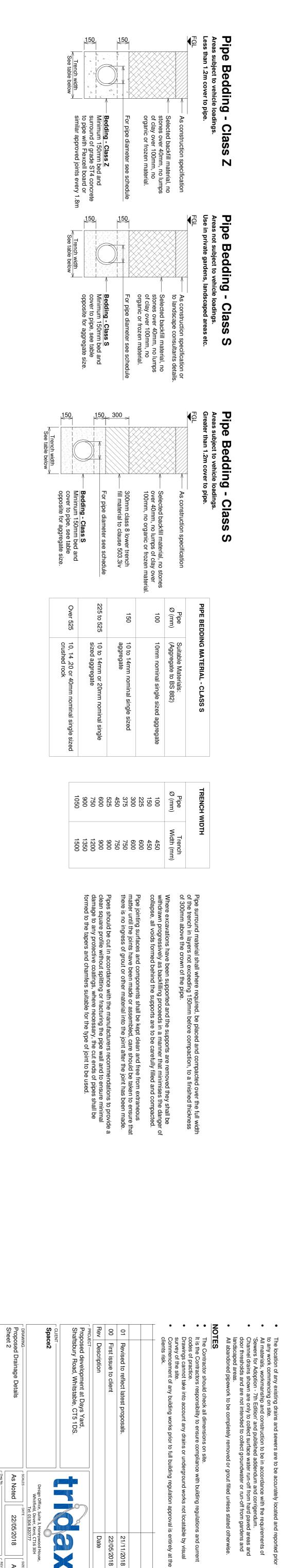
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REV.—



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PRELIMINARY

As Noted

22/05/2018

EMC-2018-054-05

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22/05/2018 Date

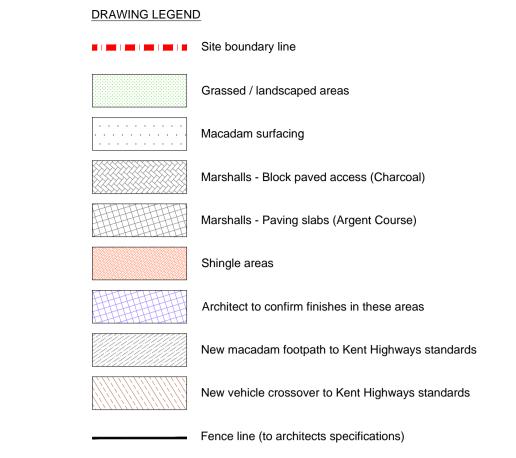
21/11/2018











Rodium over undercroft parking area covered with permeable deck area = 201m2.

Podium Garden roof introduces a further 201m2 of permeable Area at First Floor level, however, this betterment has been discounted within our calculations for determining the site attenuation requirements.

NOTES

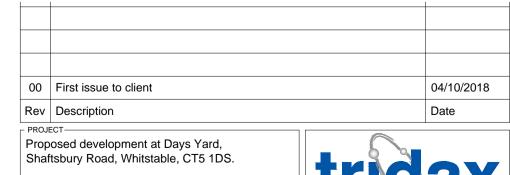
1:100 METRIC

The Contractor should check all dimensions on site.

PRELIMINARY

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- survey of the site.

 Commencement of any building works prior to full building regulation approval is entirely at the



Space2 Design Office, Suite 3, Honeywood House, Whitfield, Dover, Kent, CT16 3EH Tel: 01304 820777 Proposed External Works Plan 1:100 05/07/2018 Showing First Floor Level - Permeable roof level

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