



**Discharge of Planning Condition 13  
Details of Surface Water Drainage  
Planning Consent APP/J2210/W/17/3178561**

for

Demolition of existing buildings  
Erection of a terrace of 5 x two bedroom houses  
Erection of a terrace of 4 x one bedroom mews houses  
Erection of a building of 4 x two bedroom  
and 4 x one bedroom flats  
Days Yard, Shaftsbury Road, Whitstable, CT5 1DS

on behalf of

Mr Tom George

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## **1.0 INTRODUCTION**

### **Background**

1.1 Tridax Ltd have been commissioned by Mr Tom George and requested to prepare Maintenance Schedule details for the foul & surface water drainage required for the discharge of condition 13 of the planning inspectorate approval APP/J2210/W/17/3178561 (in conjunction with Canterbury City Council ref 16/02931) as extract Frame 1 below.

- 13) No development shall take place until details of the means of foul and surface water disposal have been submitted to and agreed in writing by the local planning authority. Such details shall include a detailed sustainable surface water drainage scheme for the site which is compliant with the non-statutory technical standards for sustainable drainage (or similar or replacement standard) and shall demonstrate the surface water run off generated up to and including the 100yr critical storm (including allowance for climate change) will not exceed the run off from the undeveloped site following the corresponding rainfall event, and so as not to increase the risk of flooding both on- or off-site, and include details for the long term maintenance of all surface water drainage infrastructure on site, and include details of the provision of measures to prevent the discharge of surface water onto the highway. These details shall also include a timetable for its implementation and a management and maintenance plan for the lifetime of the development. The development shall be carried out in accordance with such details as are agreed and thereafter maintained.

*Frame 1 ~ Planning Condition Extracts*

## **2.0 OPERATION & MAINTENANCE STATEMENT**

2.1 The surface water disposal system as indicated on drawing EMC-2018-054-02 is to remain private and the property owner will be responsible for the inspection and maintenance for the systems.

2.2 It is recommended that the inspection chambers, flow control chamber, catch pits, and the attenuation tanks are inspected as part of the general planned inspection and maintenance regime for the development, but certainly at no greater intervals than once a year.

2.3 Annual Inspection to include;

- Lift access covers to inspection chambers and the attenuation tank to check general condition and empty any debris/silt as required by licensed carrier.
- Review quantities of silt removed and consider whether inspections should be increased or possibly reduced to every two years.
- Orifice plate to be inspected, cleaned and any defects repaired.
- Carry out works as identified from inspection.

2.4 Five year Inspection / Five Year Anniversary

- Rod and flush all pipe work to ensure no blockages and free flow of water to the public sewer and to check overall integrity and remove any silt.
- Carry out a rapid 'Flush' through of the system (works during a dry period).

## **APPENDIX A**

### Tridax Drawings

EMC-2018-054-01 Site Location Plan

EMC-2018-054-02 Proposed Drainage Plan

EMC-2018-054-03 Drainage Schedules

EMC-2018-054-04 Proposed Drainage Details Sheet 1

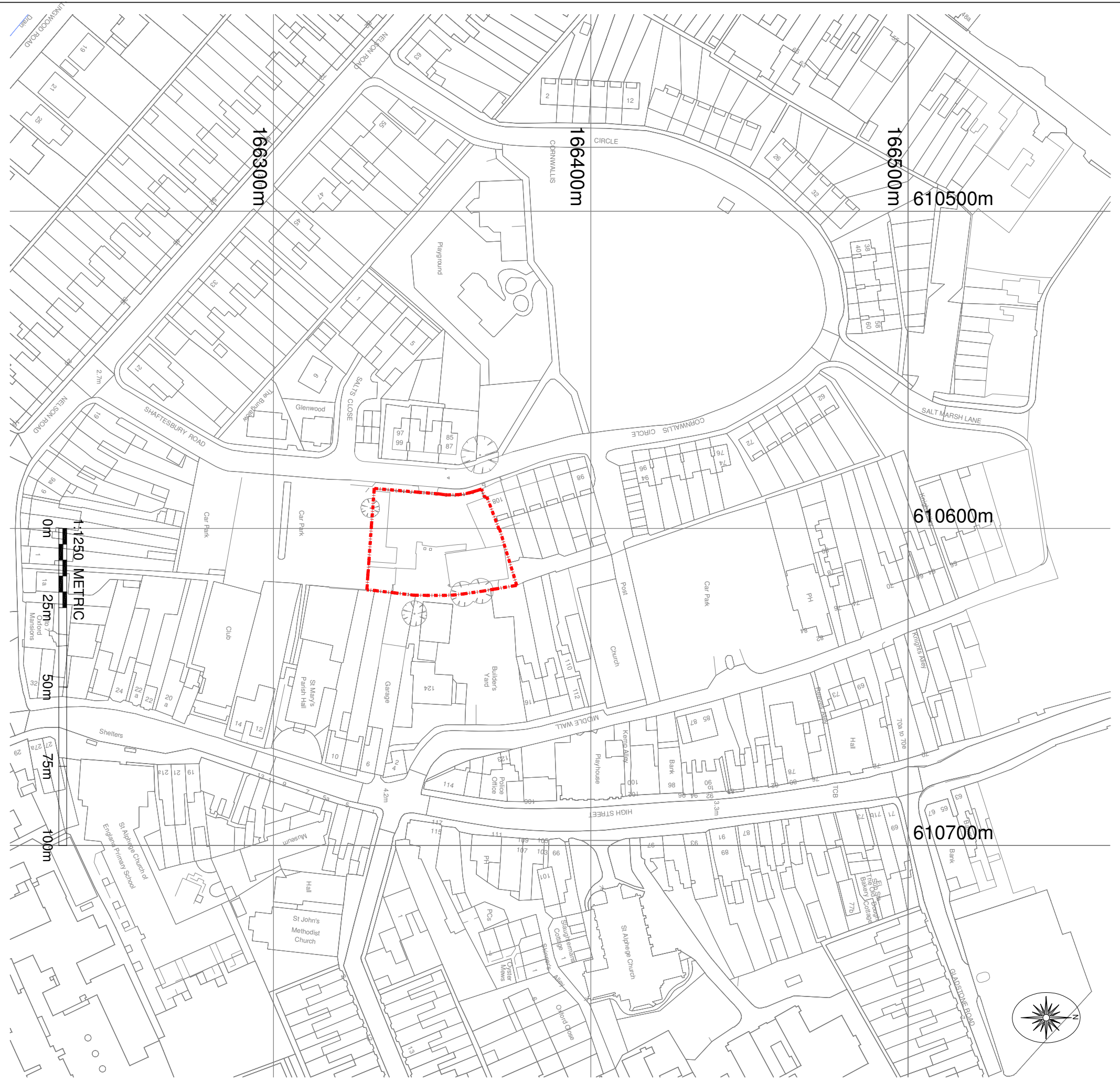
EMC-2018-054-05 Proposed Drainage Details Sheet 2

EMC-2018-054-10 Exceedence Plan

EMC-2018-054-19 Existing Drainage

EMC-2018-054-20 Proposed Drainage GF Level

EMC-2018-054-21 Proposed Drainage FF Level



**DRAWING LEGEND**

 Site boundary line

**NOTES**

- The Contractor should check all dimensions on site.
- It is the Contractor's responsibility to ensure compliance with building regulations and current codes of practice.
- Drawings cannot take into account any drains or underground works not locatable by visual survey of the site.
- Commencement of any building works prior to full building regulation approval is entirely at the clients risk.


Rev	Description	Date
00	First issue to client	22/05/2018

PROJECT  
Proposed development at Days Yard,  
Shaftsbury Road, Whitstable, CT5 1DS.

CLIENT  
**Space2**

DRAWING  
Site Location Plan

STATUS  
**PRELIMINARY**

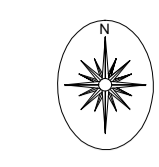


Design Office, Suite 3, Honeywood House,  
Whitfield, Dover, Kent, CT16 3EH  
Tel: 01304 820777

SCALES 1:1250	DATE 29/03/2018	SIZE A3
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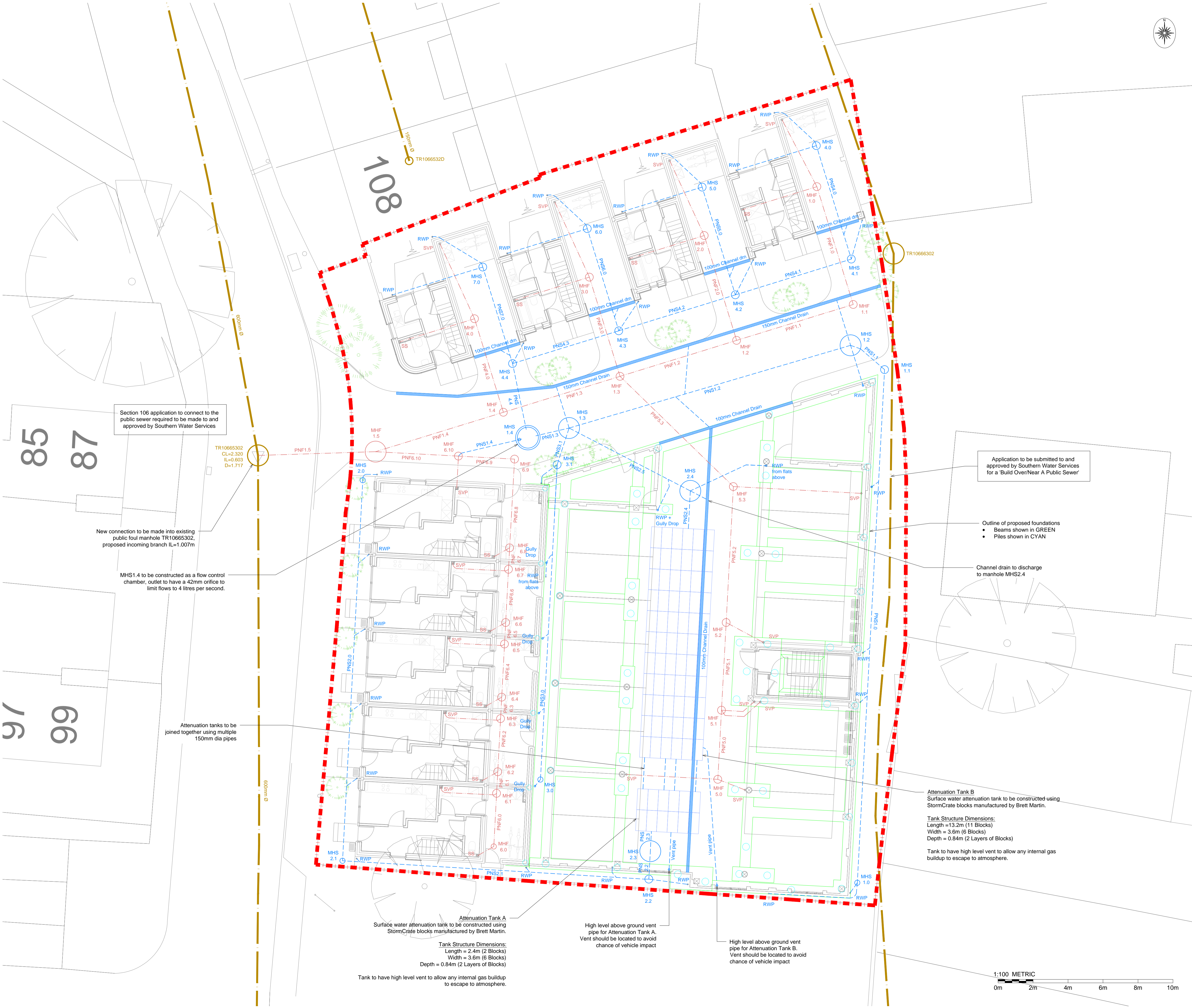
Dwg No. <b>EMC-2018-054-01</b>	REV. 00
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**DRAWING LEGEND**

- Site boundary line
- Public foul water sewer
- MH □ MH Public foul water manhole
- Public surface water sewer
- MH □ MH Public surface water manhole
- PROPOSED PRIVATE DRAINAGE
- MH □ MH Private foul water manhole
- SVP Soil vent pipe
- SS Stub stack
- AAV Air admittance valve
- BIG Back inlet gully
- RE Foul water rodding eye
- G Foul water gully
- Private surface water drainage
- MH □ MH Private surface water manhole
- SA Private surface water soakaway
- RE Surface water rodding eye
- RWP Rainwater pipe
- TD Threshold drain (details by others)
- G Surface water gully



Section 106 application to connect to the public sewer required to be made to and approved by Southern Water Services

New connection to be made into existing public foul manhole TR10665302, proposed incoming branch IL=1.007m

MHS1.4 to be constructed as a flow control chamber, outlet to have a 42mm orifice to limit flows to 4 litres per second.

Attenuation tanks to be joined together using multiple 150mm dia pipes

Application to be submitted to and approved by Southern Water Services for a 'Build Over/Near A Public Sewer'

Outline of proposed foundations  
 • Beams shown in GREEN  
 • Piles shown in CYAN

Channel drain to discharge to manhole MHS2.4

Attenuation Tank B  
 Surface water attenuation tank to be constructed using StormCrate blocks manufactured by Brett Martin.

Tank Structure Dimensions:  
 Length = 13.2m (11 Blocks)  
 Width = 3.6m (6 Blocks)  
 Depth = 0.84m (2 Layers of Blocks)

Tank to have high level vent to allow any internal gas buildup to escape to atmosphere.

Attenuation Tank A  
 Surface water attenuation tank to be constructed using StormCrate blocks manufactured by Brett Martin.

Tank Structure Dimensions:  
 Length = 2.4m (2 Blocks)  
 Width = 3.6m (6 Blocks)  
 Depth = 0.84m (2 Layers of Blocks)

Tank to have high level vent to allow any internal gas buildup to escape to atmosphere.

High level above ground vent pipe for Attenuation Tank A. Vent should be located to avoid chance of vehicle impact

High level above ground vent pipe for Attenuation Tank B. Vent should be located to avoid chance of vehicle impact

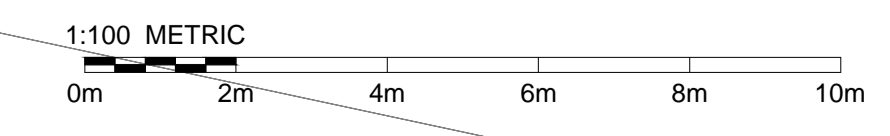
**NOTE:** Architect to confirm all RWP and Gully drop locations from raised garden areas, discrepancies are to be reported.

- DRAINAGE NOTES:**
- The location of any existing drains and sewers are to be accurately located and reported prior to any work commencing on site.
  - All materials, workmanship and construction to be in accordance with the requirements of 'Sewers for Adoption - 7th Edition' and published addendum and corrigendum.
  - Channel drains shown are only to collect surface water run-off from hard paved areas and door thresholds and are not intended to collect groundwater or run-off from gardens and landscaped areas.
  - All abandoned pipework to be completely removed or grout filled unless stated otherwise.

- NOTES**
- The Contractor should check all dimensions on site.
  - It is the Contractors responsibility to ensure compliance with building regulations and current codes of practice.
  - Drawings cannot take into account any drains or underground works not locatable by visual survey of the site.
  - Commencement of any building works prior to full building regulation approval is entirely at the clients risk.

02	RWP/gully drops repositioned to Architects requirements.	21/11/2018
01	Latest architects layout added, scheme revised to suit.	21/11/2018
00	First issue to client	22/05/2018
Rev	Description	Date

PROJECT Proposed development at Days Yard, Shaftsbury Road, Whitstable, CT5 1DS.		tridax Design Office, Suite 3, Honeywood House, Whitfield, Dover, Kent, CT16 3EH Tel: 01304 820777	
CLIENT Space2	SCALE 1:100	DATE 29/03/2018	SHEET A1
DRAWING Proposed Drainage Plan	STATUS PRELIMINARY	REV EMC-2018-054-02 02	



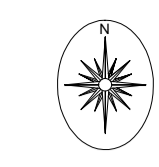
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**DRAWING LEGEND**

Site boundary line

**EXISTING PUBLIC SEWERS**

Public foul water sewer  
Public foul water manhole  
Public surface water sewer  
Public surface water manhole

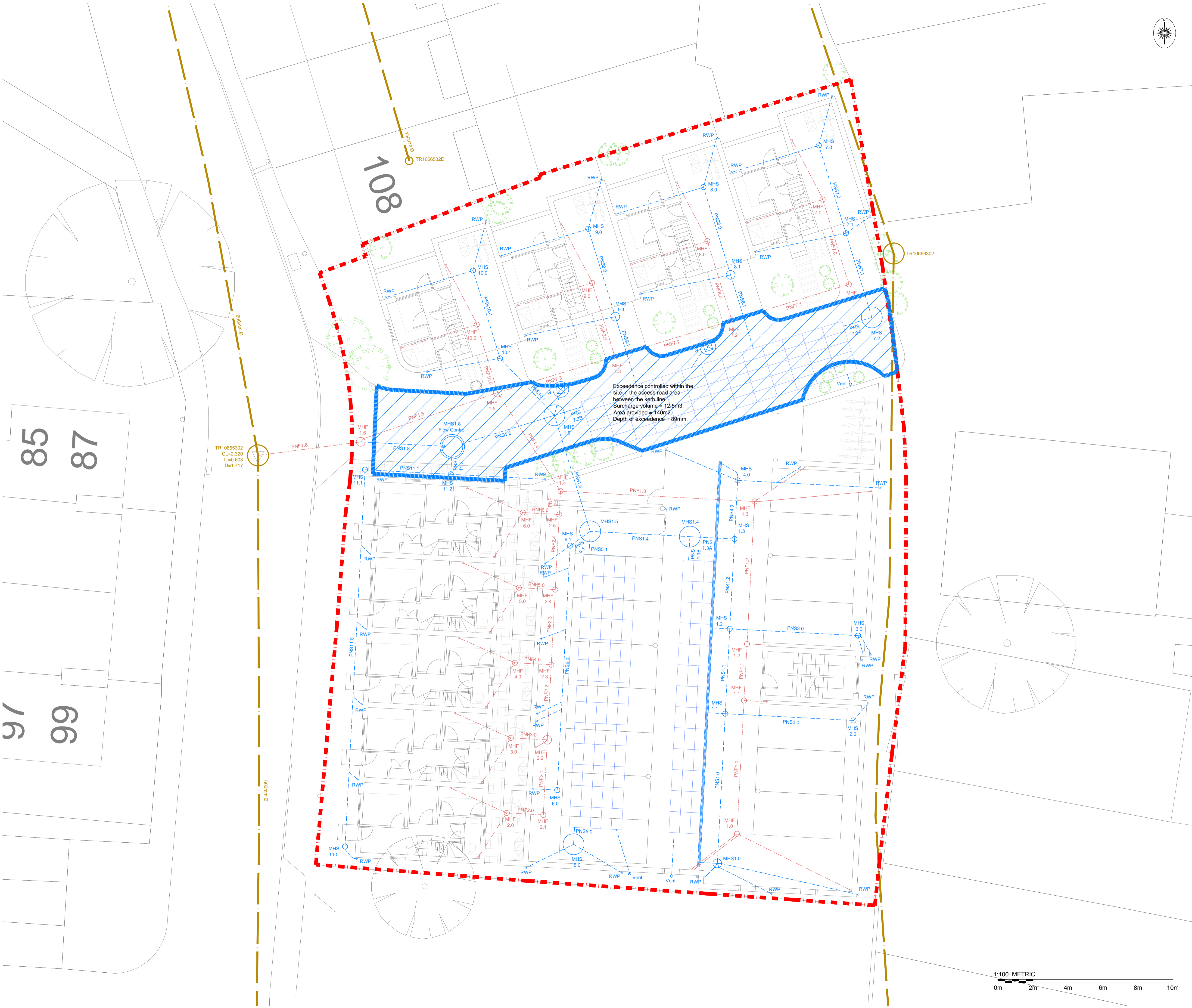
**EXISTING PRIVATE DRAINAGE**

Private foul water drain  
Private foul water manhole  
Private surface water drain  
Private surface water manhole

**PROPOSED PRIVATE DRAINAGE**

Private foul water drainage  
Private foul water manhole  
Soil vent pipe  
Stub stack  
Air admittance valve  
Back inlet gully  
Foul water rodding eye  
Foul water gully  
Private surface water drainage  
Private surface water manhole  
Private surface water soakaway  
Surface water rodding eye  
Rainwater pipe  
Threshold drain (details by others)  
Surface water gully

Area of exceedence

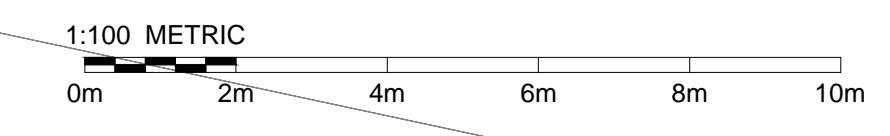


Exceedence controlled within the site in the access road area between the kerb line.  
Surcharge volume = 12.5m<sup>3</sup>.  
Area provided = 140m<sup>2</sup>.  
Depth of exceedence = 89mm.

- DRAINAGE NOTES:**
- The location of any existing drains and sewers are to be accurately located and reported prior to any work commencing on site.
  - All materials, workmanship and construction to be in accordance with the requirements of 'Sewers for Adoption - 7th Edition' and published addendum and corrigendum.
  - Channel drains shown are only to collect surface water run-off from hard paved areas and door thresholds and are not intended to collect groundwater or run-off from gardens and landscaped areas.
  - All abandoned pipework to be completely removed or grout filled unless stated otherwise.

- NOTES**
- The Contractor should check all dimensions on site.
  - It is the Contractor's responsibility to ensure compliance with building regulations and current codes of practice.
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00	First issue to client	12/11/2018
Rev	Description	Date
PROJECT: Proposed development at Days Yard, Shaftsbury Road, Whitstable, CT5 1DS.		
CLIENT: <b>Space2</b>		
DRAWING: Proposed Drainage Plan		
SCALE:	DATE:	SHEET:
1:100	12/11/2018	A1
STATUS: <b>PRELIMINARY</b>		
<b>EMC-2018-054-10</b>		



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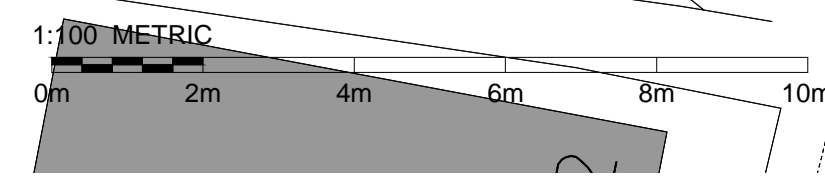
**DRAWING LEGEND**

	Site boundary line
	Grassed / landscaped areas
	Macadam surfacing
	Marshalls - Block paved access (Charcoal)
	Marshalls - Paving slabs (Argent Course)
	Shingle areas
	Architect to confirm finishes in these areas
	New macadam footpath to Kent Highways standards
	New vehicle crossover to Kent Highways standards
	Fence line (to architects specifications)

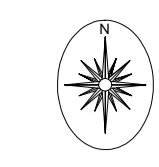
**NOTE**  
Existing Site Area = 1320m2 and site is predominantly finished with impermeable surfaces.

- NOTES**
- The Contractor should check all dimensions on site.
  - It is the Contractors responsibility to ensure compliance with building regulations and current codes of practice.
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  - Commencement of any building works prior to full building regulation approval is entirely at the clients risk.

00	First issue to client	04/10/2018
Rev	Description	Date
PROJECT Proposed development at Days Yard, Shaftsbury Road, Whitstable, CT5 1DS.		
CLIENT <b>Space2</b> Design Office, Suite 3, Honeywood House, Whitfield, Dover, Kent, CT16 3EH Tel: 01304 820777		
DRAWING Existing Site Plan Predominantly Impermeable Surface Finishes	SCALE 1:100	DATE 05/07/2018
STATUS <b>PRELIMINARY</b>	PROJECT NO. <b>EMC-2018-054-19</b>	REV. 00



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**DRAWING LEGEND**

- Site boundary line
- Grassed / landscaped areas
- Macadam surfacing
- Marshalls - Block paved access (Charcoal)
- Marshalls - Paving slabs (Argent Course)
- Shingle areas
- Architect to confirm finishes in these areas
- New macadam footpath to Kent Highways standards
- New vehicle crossover to Kent Highways standards
- Fence line (to architects specifications)



Grass / landscaped area

New vehicle crossing to be installed. All works to be in accordance with KCC Highways adoptable standards.

Dropped kerb 25mm high

Tapar

New 125mm high PCC kerb

Existing vehicle crossing to be removed and new footpath constructed. All works to be in accordance with KCC Highways adoptable standards.

Finishes to external store area unknown, architect to confirm.

Grass / landscaped area

Block paved access road  
Block Manufacturer: Marshalls  
Colour: Charcoal  
Size: 100x200x50mm (TBC by architect)

Parking area to have Macadam surface

Shingle strip around rear of building

**NOTE**  
Undercroft parking area covered with 'Green roof - permeable deck' area.

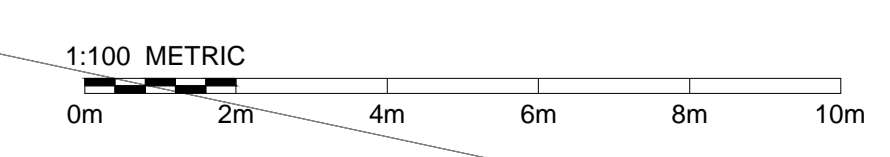
**NOTE**  
Total Permeable Area introduced at Ground level = 151.2m2

Shingle

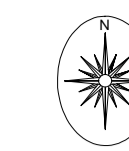
Stepped access to be confirmed by architect

- NOTES**
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  - It is the Contractor's responsibility to ensure compliance with building regulations and current codes of practice.
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00 First issue to client	14/08/2018
Rev Description	Date
PROJECT Proposed development at Days Yard, Shaftsbury Road, Whitstable, CT5 1DS.	
CLIENT <b>Space2</b>	
DRAWING Proposed External Works Plan Ground Floor Level	SCALE: 1:100 DATE: 05/07/2018 SIZE: A1
STATUS <b>PRELIMINARY</b>	REF: <b>EMC-2018-054-20</b> REV: 00

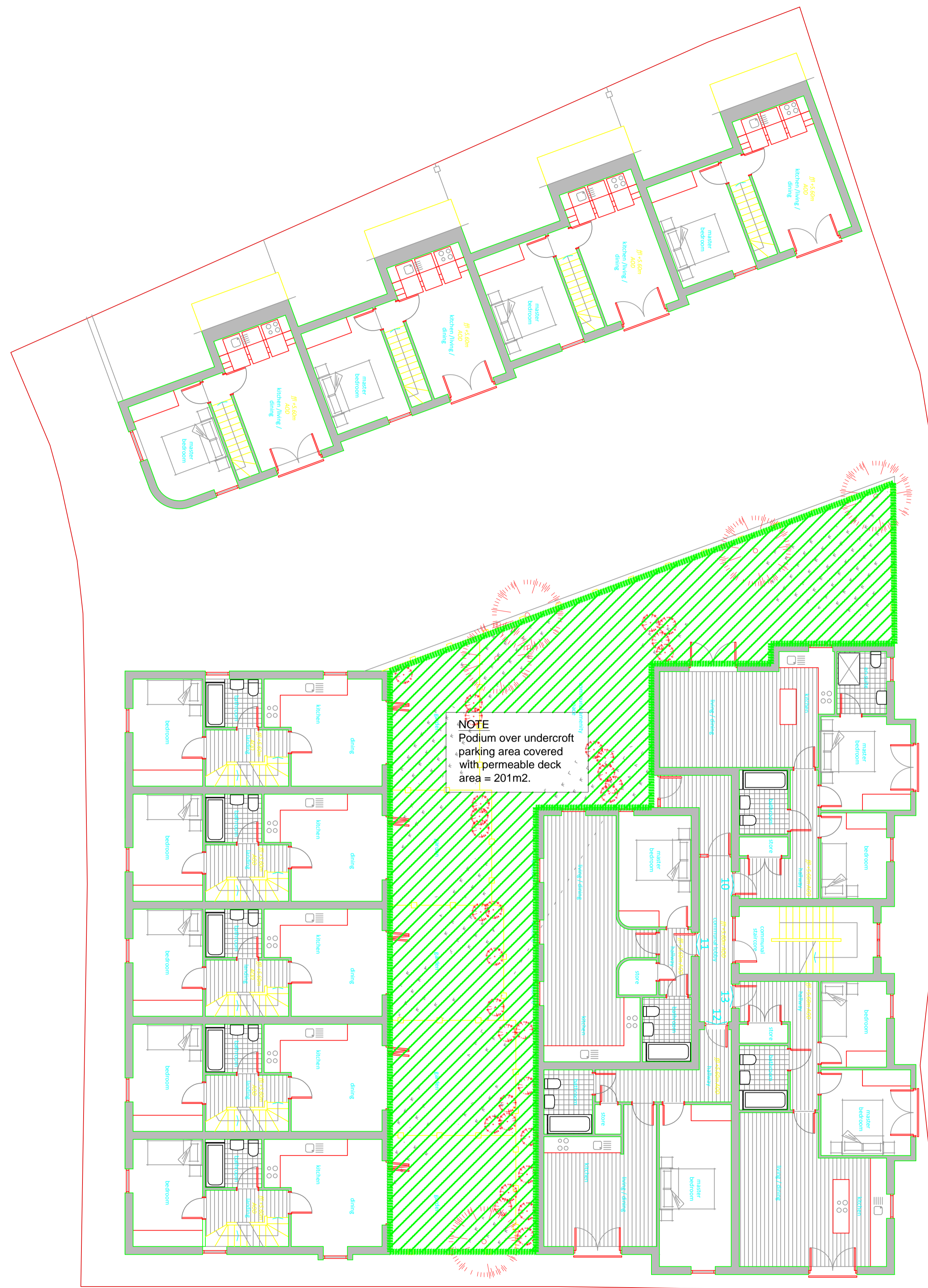


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**DRAWING LEGEND**

-  Site boundary line
-  Grassed / landscaped areas
-  Macadam surfacing
-  Marshalls - Block paved access (Charcoal)
-  Marshalls - Paving slabs (Argent Course)
-  Shingle areas
-  Architect to confirm finishes in these areas
-  New macadam footpath to Kent Highways standards
-  New vehicle crossover to Kent Highways standards
-  Fence line (to architects specifications)




**NOTE**  
 Podium over undercroft parking area covered with permeable deck area = 201m<sup>2</sup>.

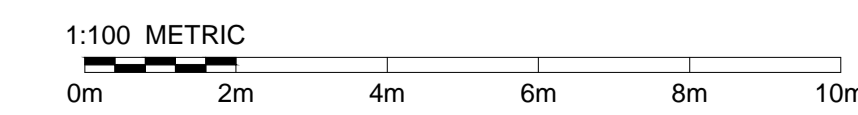
**NOTE**  
 Podium Garden roof introduces a further 201m<sup>2</sup> of permeable Area at First Floor level, however, this betterment has been discounted within our calculations for determining the site attenuation requirements.

**NOTES**

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00	First issue to client	04/10/2018
Rev	Description	Date

PROJECT Proposed development at Days Yard, Shaftsbury Road, Whitstable, CT5 1DS.			 Design Office, Suite 3, Honeywood House, Whitfield, Dover, Kent, CT16 3EH Tel: 01304 820777
CLIENT <b>Space2</b>			
DRAWING Proposed External Works Plan Showing First Floor Level - Permeable roof level	SCALE 1:100	DATE 05/07/2018	SHEET A1
STATUS <b>PRELIMINARY</b>		PROJECT NO. <b>EMC-2018-054-21</b>	REV 00



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