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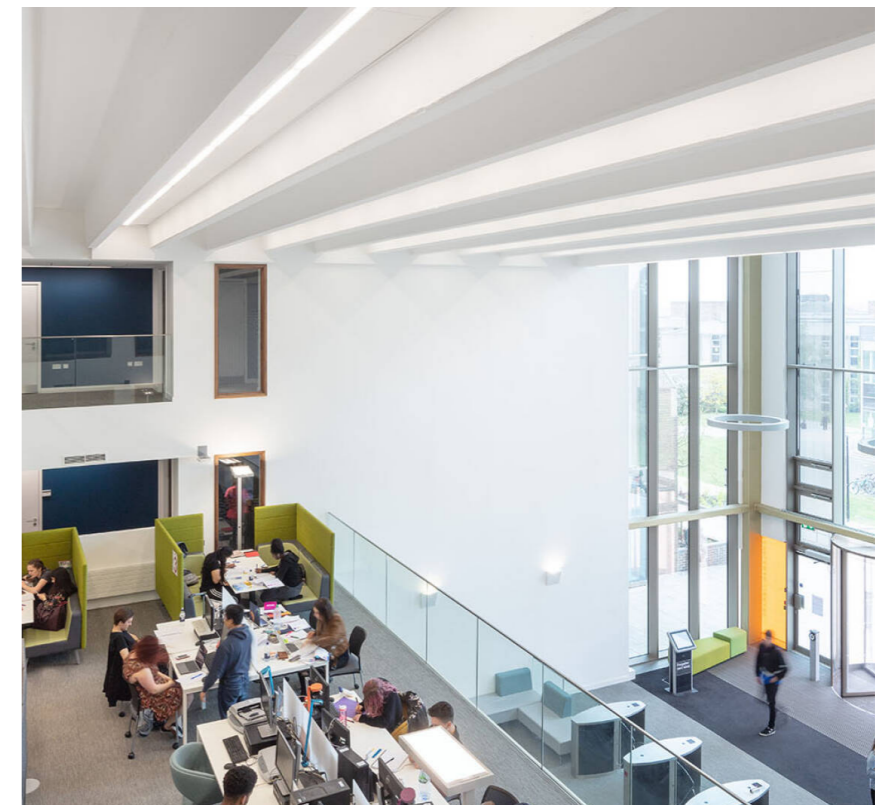
1.

Introduction

Purpose of the Document

Purpose of the document:

Following the Vision for Development produced in August 2021 by PRP and the project team, Canterbury City Council's release of the Reg. 18 Local Plan has introduced an updated set of opportunities and constraints for the University of Kent's land holding. *Policy C12 - Land north of the University of Kent* outlines refreshed requirements, including green aspirations, education and community requirements, and potential access points. By utilising the extensive analysis completed as part of the previous vision, a new Vision Masterplan has been developed that responds to the emerging policy. This document focuses on the changes made to the opportunities and constraints and masterplan in light of the emerging local plan, and should be read as an addendum to the original vision.

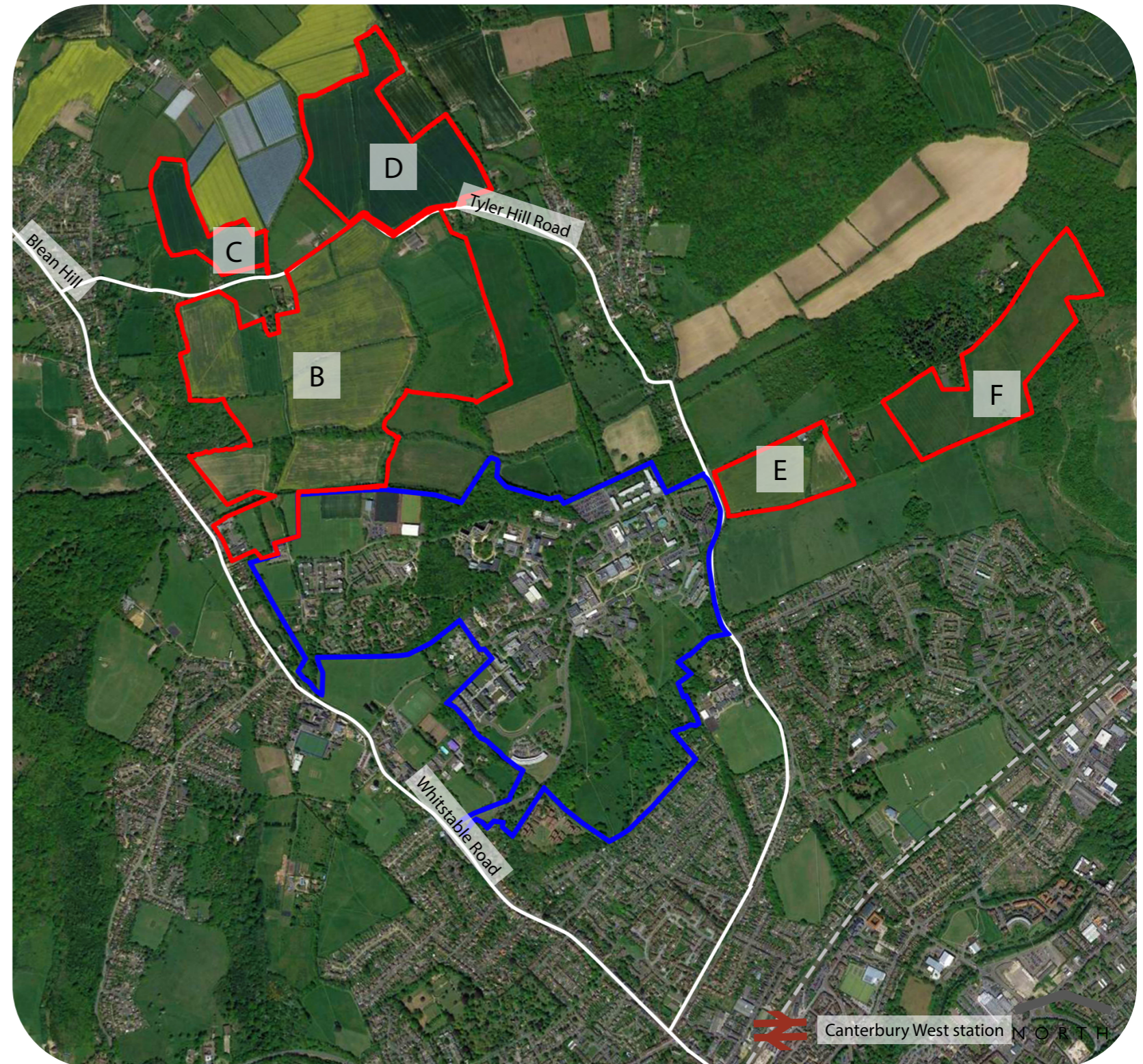


The Site

Introduction to sites:

The University of Kent's submission to Canterbury Council's Local Plan Call for Sites 2021 identified the delivery of six University of Kent land parcels (A-F) that were suitable for future redevelopment. It should be noted that since the original Call for Sites submission in June 2020, the planning strategy associated with Site A has been updated and it is now proposed that Site A will form part of the Retained University Campus. The proposed development sites have been identified as surplus to the University's operational requirements and present a wholly unique opportunity for meeting the growth of the District in that they are suitable, deliverable and achievable for a mixed-use, residential-led development that would satisfy a significant proportion of residential development, together with the economic and social needs of the District.

The main disposal sites B,C,D provide the opportunity for a new residential-led community comprising a minimum of 2,000 homes and associated uses across a total site area of 97ha. A boundary change to allow for a second access from Whitstable Road has increased the site area by approximately 4ha from 93ha. The new neighbourhood will be supported by a community and mobility hub, a sensitive built form which responds to the character and significance of the areas, new schools and new and open spaces which will provide a distinctive green infrastructure network within the surrounding Kent countryside. Sites E and F propose no built development, but have the potential to provide on-site biodiversity mitigation.



University of Kent context plan

- Key**
- Site Boundary
 - Site ownership boundary

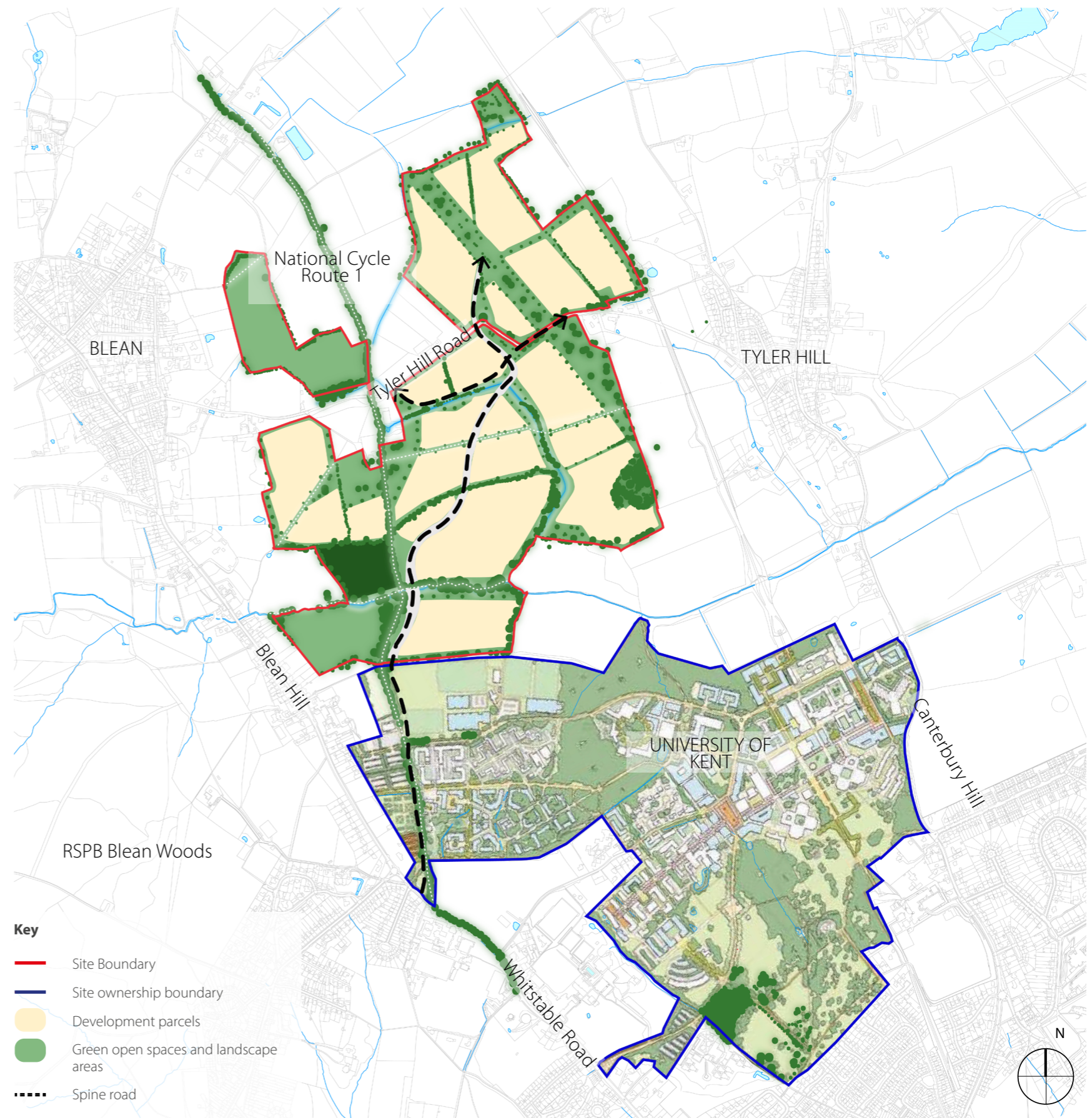
Previous Vision Masterplan - July 2021

The previous Vision Masterplan, part of the Reg. 18 Local Plan representations in 2023, was developed following a rigorous analysis of the site context and was supported by a suite of supporting technical assessments. It provided a minimum of 2,000 new dwellings (and associated complementary uses) across an indicative developable area of approximately 50ha. This developable area resulted in a density of around 36-40 dph. The density is applied across the Vision Masterplan as a range with some areas expected to deliver lower densities (community edge) and other areas expected to deliver high densities (within the local centre and around the mobility hub).

The guidance set out in the adopted 2017 Local Plan, required a minimum of 39.5ha of open space across the 93 ha site. The proposed Vision Masterplan complied with this, providing 41.5 ha of open space, integrating existing green infrastructure and incorporating them into a range of natural and semi natural open spaces. Open spaces were distributed across the sites both surrounding and within the parcels, to protect and enhance habitats and provide opportunities for recreation.

Other key objectives of the Vision Masterplan included:

- Create a linked neighbourhood serviced by sustainable movement networks of pedestrian and cycle routes which link the sites to key destinations including Blean, Tyler Hill, Canterbury and the university; through green corridors and a rich fabric of green infrastructure.
- Provide a variety of complementary uses, including a local centre, a mobility hub, a school and allotment spaces.
- Provide a variety of house types and tenures including affordable housing and self-build opportunities.
- Potential to create intergenerational communities with homes where residents can age in place, and potential for a care home or retirement living.
- Allow built form and landscape to embrace one another - provide appropriate densities in the right locations to deliver a sense of openness in an urban setting.
- Provide a range of open spaces across the three sites including play, parks and amenity spaces and allotments and green corridors will be strengthened through the retention and enhancement of existing features and through new planting.
- Respond to the character and heritage of the area by reflecting farmland and barn influences, the Tyler Hill tile, the Listed Church and the Scheduled Ancient Monument.



July 2021 Vision Masterplan

Previous Vision Masterplan - January 2023


As part of the Regulation 18 representations in 2023, the following masterplan was submitted to Canterbury City Council:



Green corridors and active travel




3 locally responsive character areas




Approximately **48ha of development** area spread across 3 development sites



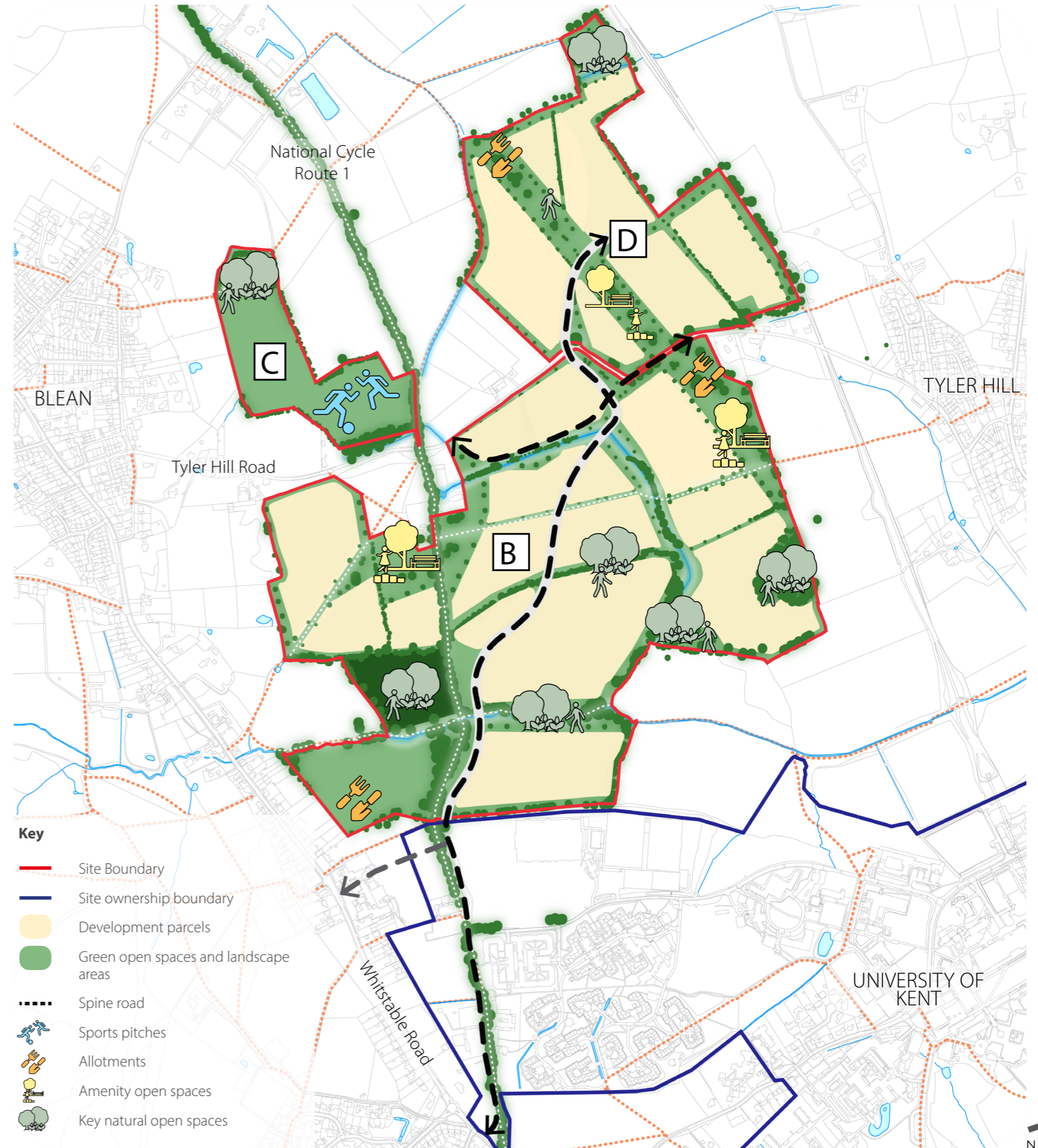
Minimum of **2,000 homes**



Approximately **41.5 ha of open space**



Biodiversity net gain promoted



January 2023 Vision Masterplan submitted as part of the Reg.18 Local Plan representations







2.

Updated opportunities
and constraints

Updated Key Site Considerations

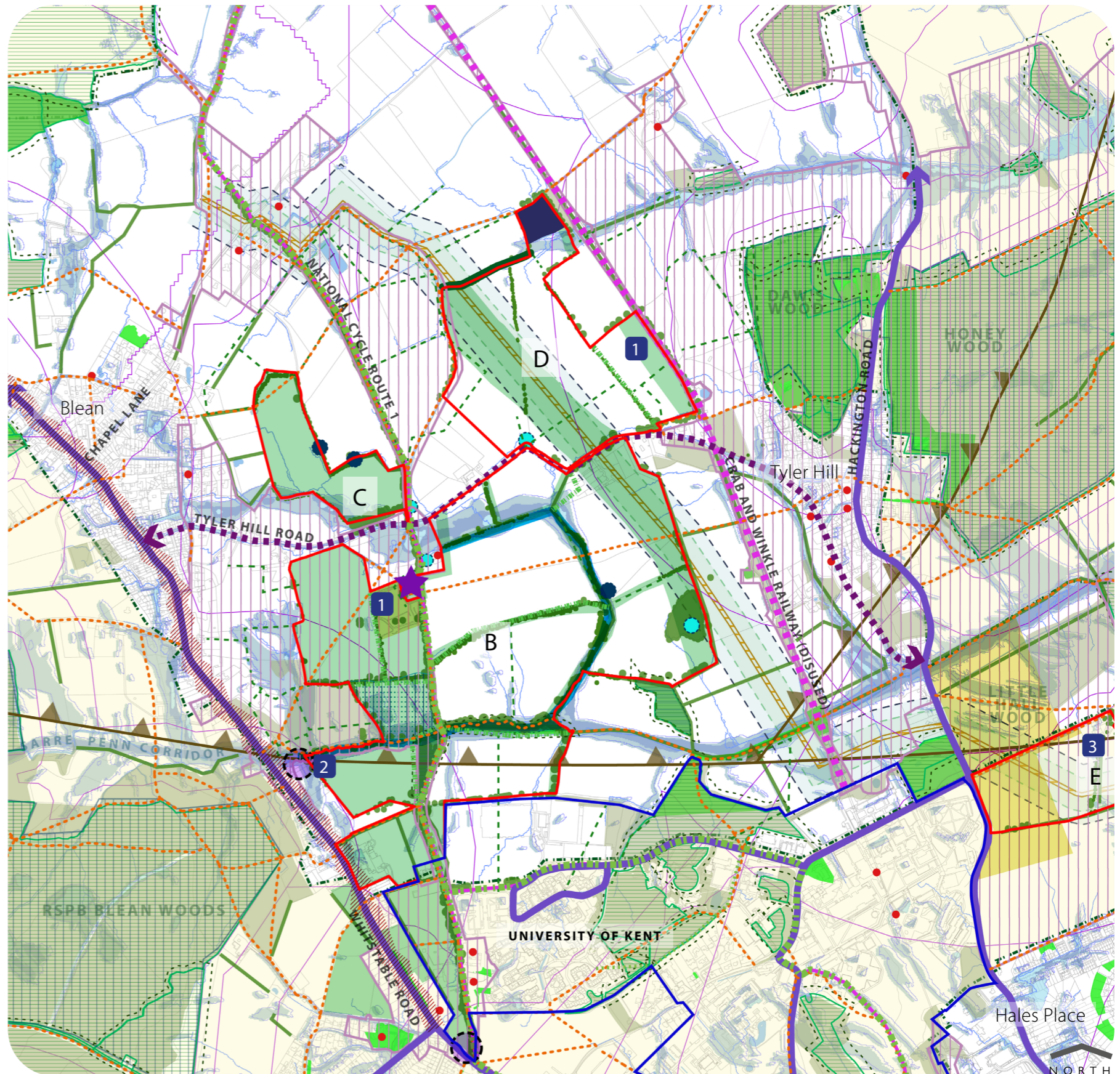
Updates to the Key Site Constraints

The Reg. 18 Local plan Policy C12 spatially outlines indicative areas for 'open space / biodiversity opportunities' and the indicative location for vehicle access points. Key updates to the constraints include:

- 1 The new open space designations mostly coincide with existing heritage and utility constraints, which, whilst providing a valuable use for undevelopable land, will limit the available functions of the open spaces (i.e. no play within the inner gas main buffer).
- 2 The new indicative vehicular access point from Whitstable Road overlaps with Blean Primary School; a new site for the school within the site is required to compensate for this loss.
- 3 A new reservoir is proposed to the east of the site for completion in 2036. The reservoir is to be connected to Blean in 2036 via a water main across the south of the site and is due to exit in the south eastern corner. The reservoir is to be located to the east of sites E/F.

Key

	Site boundary		Inner gas main (minimum no build zone)
	Site ownership boundary		Middle gas main
Access / Movement			
	Daytime noise level from road		Outer gas main
	Existing Public Rights of Way	Landscape	
	Main roads		Hedgerows
	National cycle route		Trees
	Tyler Hill Road		SSSI
	Crab and Winkle Way (disused)		National nature reserves
	Vehicular access points (Reg. 18 Local Plan)		Ancient woodland including replanted woodland
Heritage			
	Church of St Cosmus & St Damian (Grade II*)		Ancient woodland offset 15m
	Historic hedgerow field pattern (lost)		Priority habitat (woodland, deciduous woodland, traditional orchards)
	Historic hedgerow field pattern (retained)		TPO
	The Salt Way		Area of high landscape value
	Crab and Winkle Railway		Strategic Access Management Area for Special Areas of Conservation, Special Protection areas and Ramsar Sites
	Scheduled Monument		SSSI Impact zones
	Listed buildings		Open space / biodiversity opportunities (Reg. 18 Local Plan)
	Conservation area	Ecology	
Flooding / Utilities			
	Surface flooding 1 in 10 year		Ponds for newt habitats
	Surface flooding 1 in 100 year		Badger sett present on Sites
	Surface flooding 1 in 1000 year		Recent woodland mitigation area
	Ditch offset 10m		




























Key site considerations

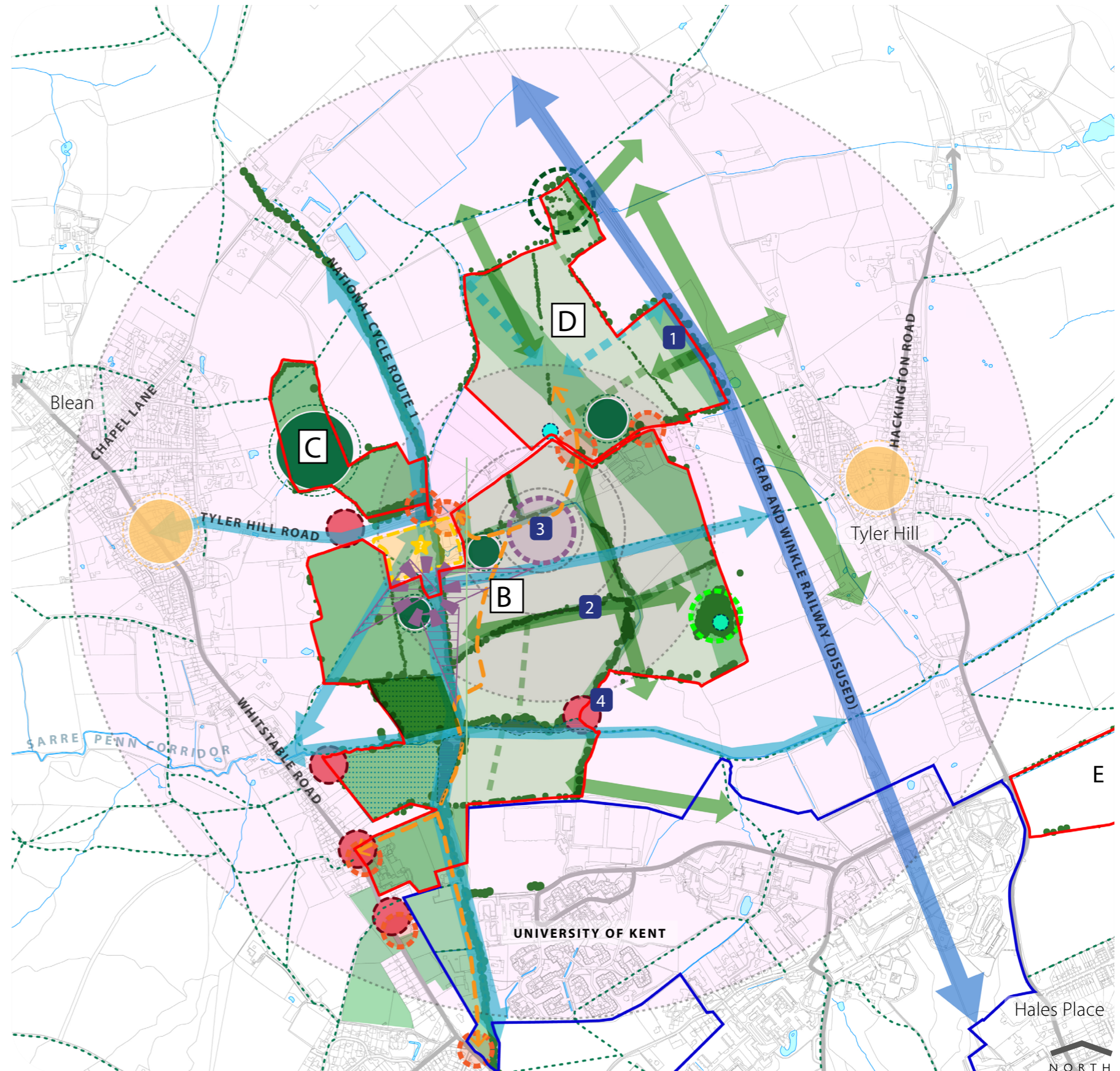
Updated Key Site Opportunities

The Reg. 18 Local Plan presents numerous new opportunities for green infrastructure, pedestrian and cyclist movement and non-residential uses. The key opportunities from Policy C12 of the emerging Local Plan are:

- 1 Open space / biodiversity opportunities largely following site boundaries, creating a natural buffer to sensitive edges.
- 2 Green corridors following existing lines of natural assets, including species-rich hedgerows, clusters of woodland and the Sarre Penn watercourse.
- 3 The community hub at the centre of the site, providing a location for commercial, offices, a mobility hub and community uses. This provides the opportunity to instil the principles of the 15 minute neighbourhood into the site.
- 4 Further opportunities for cycling and walking access points provide the basis for new active travel routes, bypassing unsafe roads and crossing previously impermeable land.

Key

- | | | | |
|---|--|---|--|
|  | Site boundary |  | Reinstating historic hedgerows |
|  | Site ownership boundary |  | Enhance existing woodland |
|  | Respect the setting of the church and Ancient Scheduled Monument |  | Enhance wetland habitat |
|  | Views to the church |  | New permeability through Sites |
|  | Public Rights of Way |  | Existing tree planting mitigation area |
|  | New permeability |  | Potential new tree planting and mitigation area |
|  | Potential vehicular spine road |  | Potential opportunity for complimentary development |
|  | Potential access | <i>Reg. 18 Local plan Policy C12 - indicative locations</i> | |
|  | Enhance existing connections |  | Opportunities for green corridors |
|  | Existing local centres |  | Open space / biodiversity opportunities |
|  | Opportunity for wetland habitat |  | Opportunity to improve cycling / walking access and safety |
|  | Existing trees and hedgerows |  | Community hub and local centre opportunity |
|  | Enhancement of hedgerows | | |
|  | New green spaces | | |



Key site opportunities





3.

The updated Vision
Masterplan and strategies

The Proposed Updated Vision Masterplan

The new updated Vision Masterplan creates a new community in a green environment providing approximately 2,000 new homes that will cater for different lifestyles and age groups.

A network of open spaces and landscaped public realm will offer opportunities to everyone to live by the green, promoting healthy, active lifestyles. A new community hub will sit at the heart of the new community with new facilities and open space to provide spaces for the community to socialise and thrive.

The refined objectives are:

-  Create a 15 minute neighbourhood serviced by sustainable movement networks of pedestrian and cycle routes and a mobility hub which will link the sites to key destinations including Blean, Tyler Hill, Canterbury and the university; through green corridors and a rich fabric of green infrastructure.
-  Provide a variety of complementary uses, including a local centre, community uses, a mobility hub, 2 schools and allotment spaces.
-  Provide a variety of house types and tenures including affordable housing and self-build opportunities to cater for different age groups.
-  Integrate existing green infrastructure and incorporate them into a range of natural and semi natural open spaces, distributed across the sites in varying forms to protect and enhance habitats and provide opportunities for recreation.
-  Deliver Biodiversity Net Gain, creating east-west green links connecting with the wider green infrastructure network.
-  Potential to create an intergenerational community where residents can age in place through assisted living and potentially a care home, all within close proximity to services.
-  Allow built form and landscape to embrace one another by providing appropriate densities in the right locations to deliver a sense of openness in an urban setting.
-  Provide a range of open spaces across the three sites including play, parks, amenity spaces and allotments, encouraging all residents to rediscover outdoor recreation.
-  Respond to the character and heritage of the area by reflecting farmland and barn influences, the Tyler Hill tile, the Listed Church and the Scheduled Ancient Monument.
-  Maintain significant green gaps/buffers between the proposed development and Blean/Tyler Hill.



Vision Masterplan

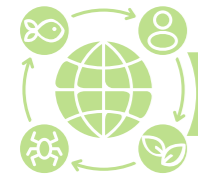
Meeting the Needs of the Community



COMMUNITY HUB

2 ha of mixed use community hub, exceeding the requirements of:

- 1,250 m² of commercial uses
- 500m² of community uses
- 4,000 m² of office and business space
- A mobility hub



GREEN INFRASTRUCTURE

- Approximately 50% of the site for open space
- 20% Biodiversity Net Gain achieved
- Doorstep play to all homes



EDUCATION

- Reprovision of the 2FE Blean Primary School in close proximity to the existing site
- Provision of a new 3FE primary school to alleviate local pressure and provide for new residents

Indicative land budget

	Development Area	Spine Road Area	Green Infrastructure Area
Site B	31.4 ha	3.1 ha	30.5 ha
Site C	0 ha	0 ha	7 ha
Site D	14.3 ha	0.5 ha	6.7 ha
Total	45.7 ha	3.6 ha	44.2 ha



Green and blue infrastructure

2 primary schools

Community hub



Landscape and Green Infrastructure Design Strategy

The green and blue network created responds to the varied and rich context, including Blean Woods to the West and Daw's Wood to the east. Green and blue corridors already run across the site, with Sarre Penn, National Cycle Route 1 and the Crab and Winkle railway all providing linear habitats.

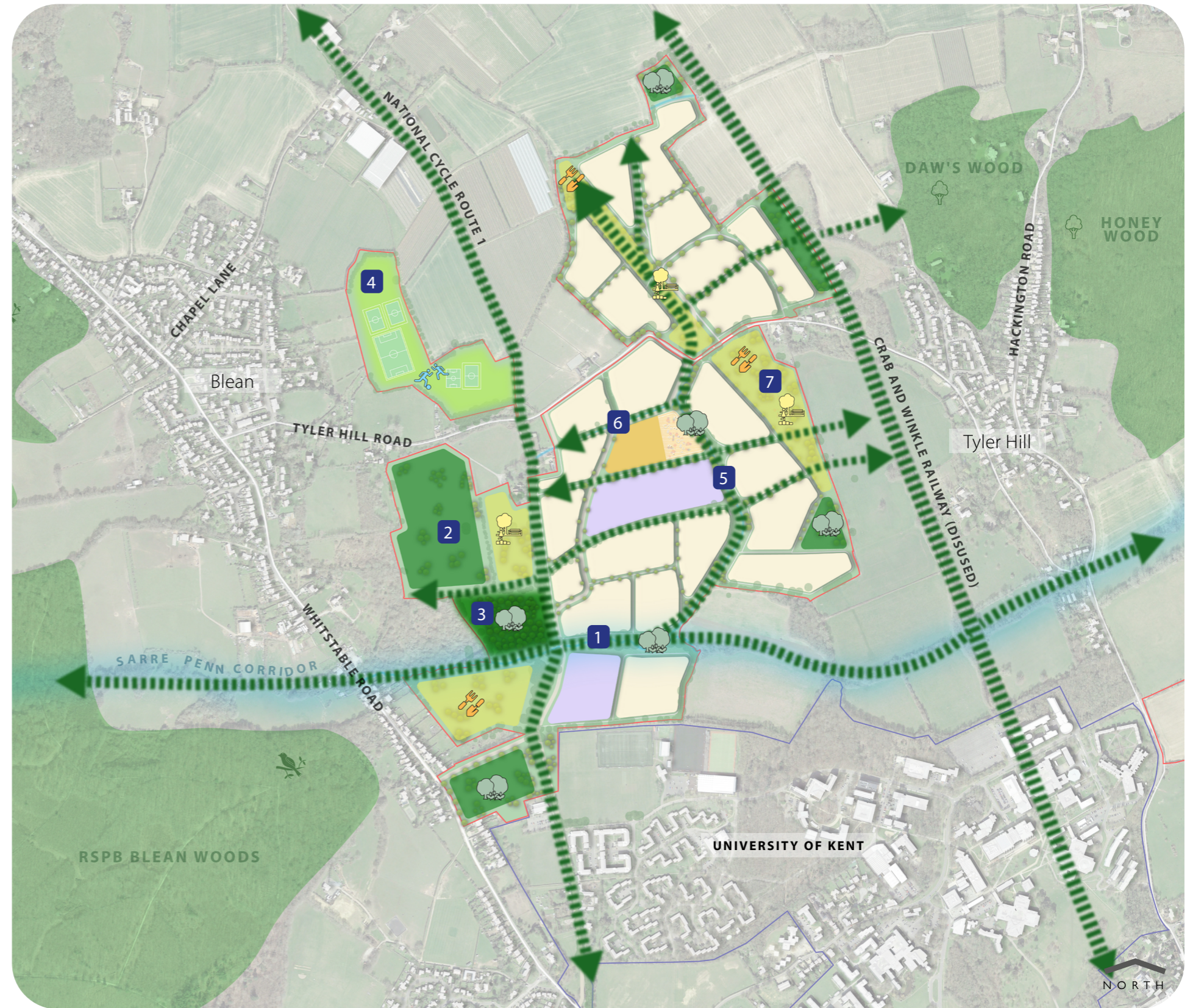
Key landscape considerations include:

- 1 A comprehensive drainage network spread across the site's open spaces, with ample capacity to not overwhelm the Sarre Penn stream and its habitats.
- 2 Provision of new varied open spaces to achieve the 20% BNG target of policy DS21.
- 3 Retain and enhance denser areas of planting, alongside a new area of woodland to mitigate the impact on the Ancient Woodland.
- 4 The majority of the open space is provided to the west, including new sports pitches in close proximity to Blean. More natural open spaces can be found to the south west, closer to Blean Woods SAC.
- 5 Green corridors through the site are to be enhanced and further connected, allowing for enhanced pedestrian and cycle access to both the surrounding villages and Canterbury city centre.
- 6 By using hedgerows to dictate open space locations, the field pattern has largely been retained.
- 7 Providing varied open space types, to ensure feasible access to nature and leisure for all residents.

Open space provision

Type	Draft LP requirement (ha)	Provided (ha)
Semi natural and natural open space	18.7	19.4
Parks and gardens	3.7	3.9
Amenity green spaces and green corridors*	10.5	12.4
LAP and LEAP	1.2	1.2
NEAP / destination play	1.4	1.4
Outdoor sports pitches	4.1	4.1
Allotments	1.8	1.8

*Includes green routes between parcels with access roads.



Landscape and green infrastructure design strategy

Key

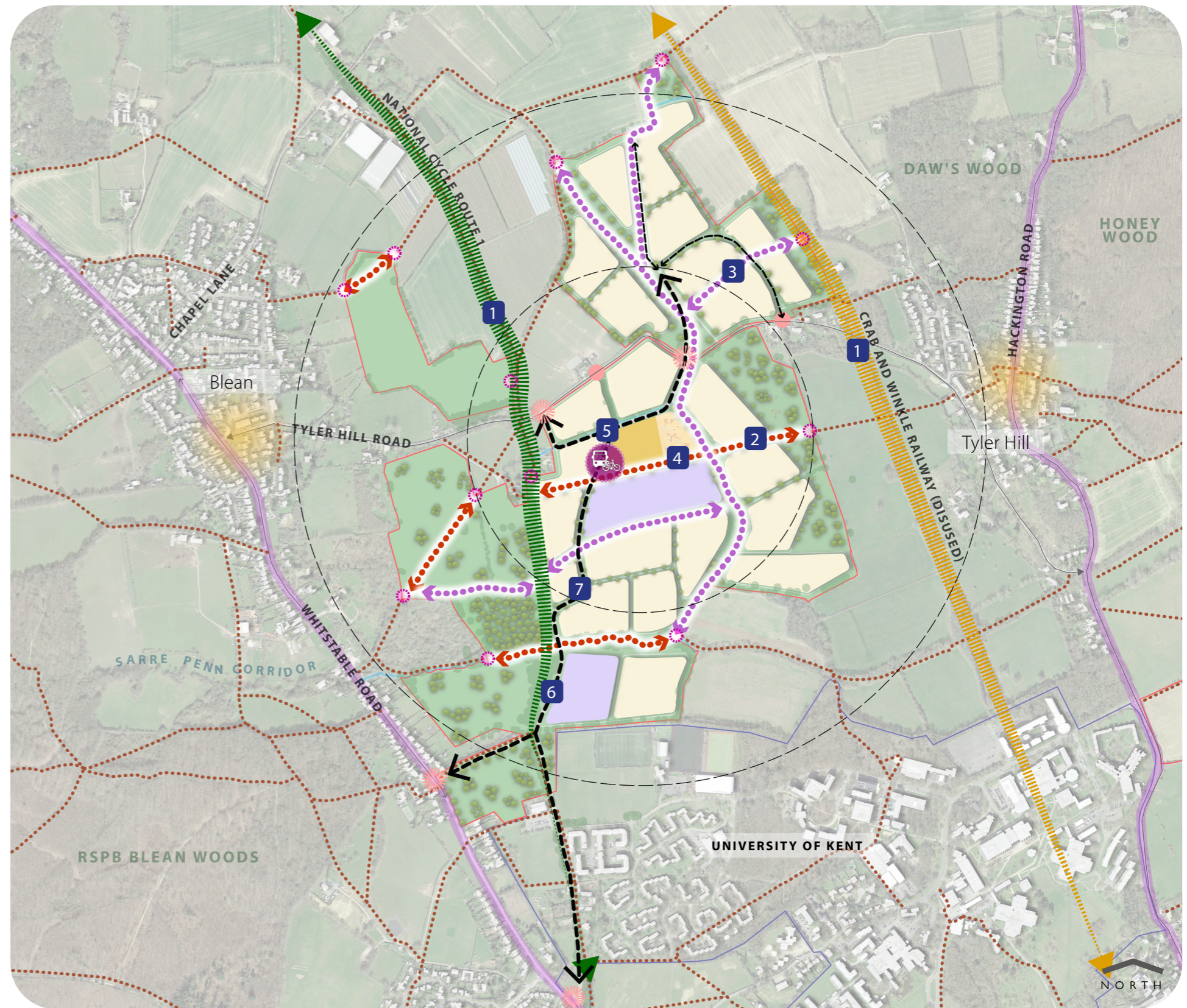
- Site boundary
- ↔ Green corridors and green routes
- Natural and semi-natural open space
- Existing tree planting mitigation
- Amenity green spaces and green corridors, and parks and gardens
- Development parcel
- Primary education parcel
- Community hub

Sustainable Movement

By prioritising active travel, the proposed development will create a safe and inclusive transport environment. The site is bound to the east and west by existing high quality active travel routes (National Cycle Route 1 and the Crab and Winkle railway). Therefore, new, easy to access pedestrian and cycle routes connecting east to west are key in promoting journeys without vehicles. To discourage the use of the private car, the meeting point of two key routes is marked by the mobility hub; a point where interchange to further sustainable transport options for onward journeys will be available. The mobility hub is located next to the community hub, at the heart of the sustainable neighbourhood.

Sustainable movement will be achieved by:

- 1 Linking to the existing active travel routes, connecting immediately to Canterbury and, further afield, to Whitstable.
- 2 Retained and enhanced Existing Public Rights of Way (PRoW) within the site.
- 3 Creating new pedestrian and cycle routes to complete the network within the site.
- 4 Enhanced permeability between Blean and Tyler Hill.
- 5 A potential extension to the bus network, through a bus stop at the mobility hub located on the spine road.
- 6 A spine road running north to south, with further access provided by a network of primary roads, secondary roads and lanes.
- 7 Partial re-alignment of the spine road, to meet the following requirements of the Reg. 18 Local Plan Policy C12:
 - Location of the local centre
 - Positioning of the 3FE school (minimum of 3 ha) adjacent to the local centre



Sustainable movement strategy

Key					
	Site boundary		Enhanced Salt Way active travel corridor (National Cycle Route 1)		Pedestrian access points
	Spine road		Crab and Winkle active travel route		Existing village centre
	Primary road (leading to secondary and access routes)		PRoW		Existing bus route
	Existing key roads		Retain PRoW within site		Mobility hub
	Vehicle access points		Proposed new main pedestrian and cycle routes		Development parcel
	Additional / emergency vehicle access				Primary education parcel
					Community hub

Responding to Character and Heritage

The existing distinctive heritage assets and characters around the site provide the basis for the Vision Masterplan to be built upon. Taking influence from local styles and respecting the setting of the Church of St. Cosmus and St. Damian, the proposed development will blend seamlessly with the current context.

The new community will have distinctive character areas drawing from the rich surrounding architecture. Character areas will be influenced by the historic tile industry, farm land and barn heritage, and the area's history of productive landscapes. In addition, a variety of green open spaces and landscape areas will contribute to create unique neighbourhoods where communities can flourish.

Principles applied to achieve a high quality built environment:



1. CELEBRATE LOCAL CHARACTER

Protect and celebrate local character, scale, and valuable heritage while **not competing** with existing settlements



2. DISTINCT IDENTITY

A cluster of villages that create a diverse character and identity



3. FOLLOWING NATURE'S ROUTES

Permeable villages connected through existing and new **green and blue routes** that promote cycling and pedestrian movement



4. BEATING HEART OF THE COMMUNITY

A welcoming community **hub** at the heart of a 15 minute neighbourhood



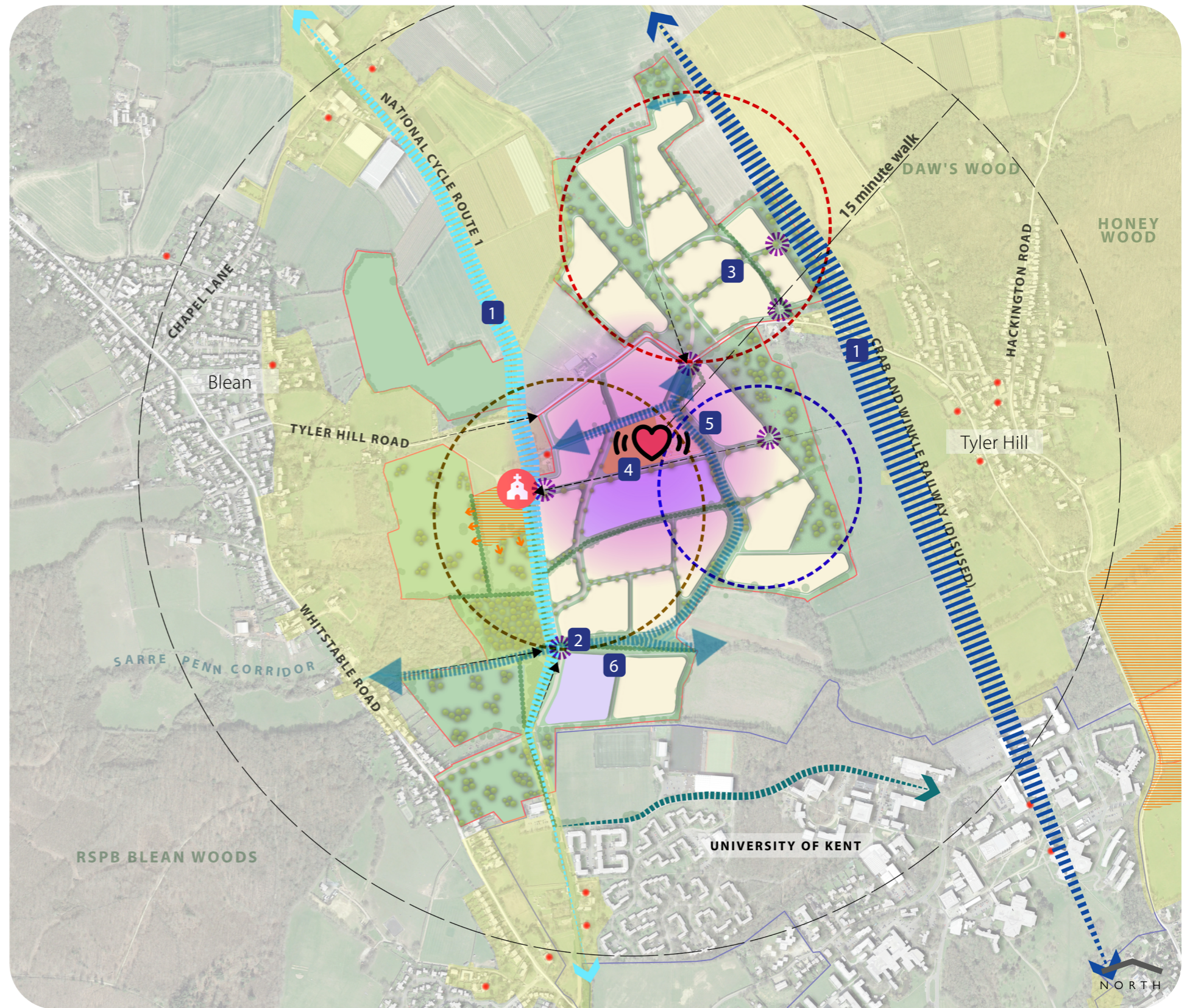
5. LIVING WITHIN NATURE

Reflecting rural living by **maximising green outlook** from homes



6. GREEN LIVING ORGANISMS

Layers of green spaces in dialogue with the **open countryside and woodlands**



Key

- Site boundary
- ((♥)) Community Hub
- ⛪ Church of St. Cosmus and St. Damian
- Listed building
- Conservation area
- ↔ Salt Way
- ↔ Crab and Winkle former railway
- Respected setting of Scheduled Ancient Monument
- ⊙ Key pedestrian gateways
- Higher density surrounding the Community Hub
- Retained hedgerow
- ← - - Key views
- ↔ Water-led character
- Self building and community growing
- Tile industry heritage
- Farmland and barn character
- 15 minute walk radius
- Development parcel
- Primary education parcel
- Community hub

Responding to character and heritage strategy

Responding to Character and Heritage

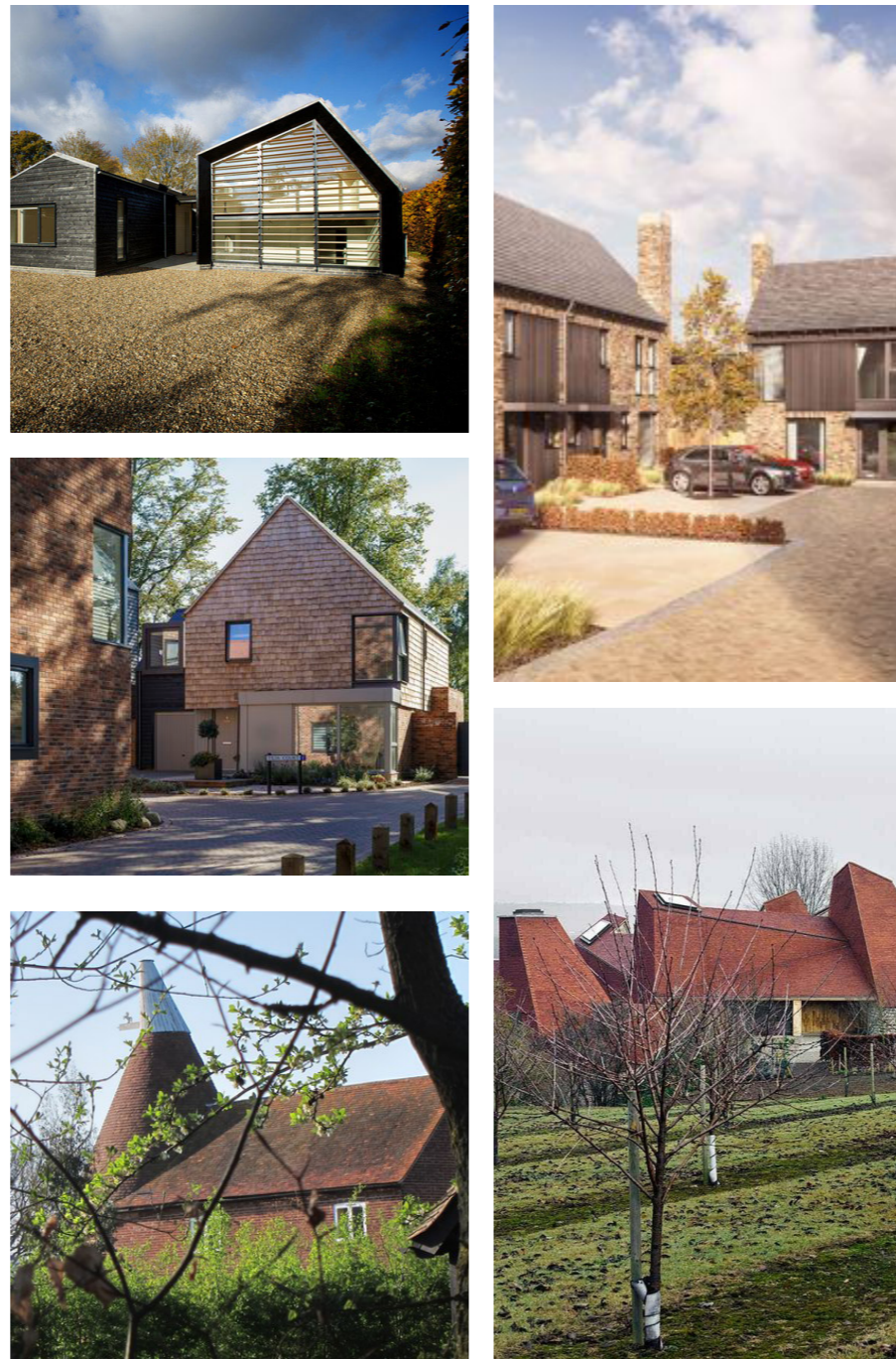
Tile industry heritage

The sites are adjacent to the Tyler Hill Conservation Area which was part of a large scale medieval industry. Materials used within design proposals could include tiles reflective of the traditional materials of the area and found more widely within Kent.



Farmland and barn heritage

The surroundings of the site have a rich heritage of former agricultural estates, barns and oast houses. This character could inform the residential development in a contemporary way, in particular in the lower density and sensitive areas within the Blean Conservation Area.



Self build and community gardens

There is a rich heritage of orchard growing and productive landscapes within the area. Communal orchards, small buildings and homes clustered around shared growing areas can capture this character whilst creating community cohesion and offering benefits for mental health and well-being.



A Vibrant new Community

The Vision Masterplan aims to create a vibrant and diverse neighbourhood, providing approximately 2,000 new, high-quality homes in a wide range of typologies. Home typologies will consider the existing demand, with home options considering different family types and lifestyles to create a vibrant and cohesive multi-generational community. To achieve this, new homes will be flexible and adaptable to suit all stages of life.

Homes for all:

Millennials: couples and young professionals

- Flats and small houses
- Opportunity to work from home

Co-living groups

- Flexible housing solutions
- Shared living space, or
- Separate facilities

Multi-generational households

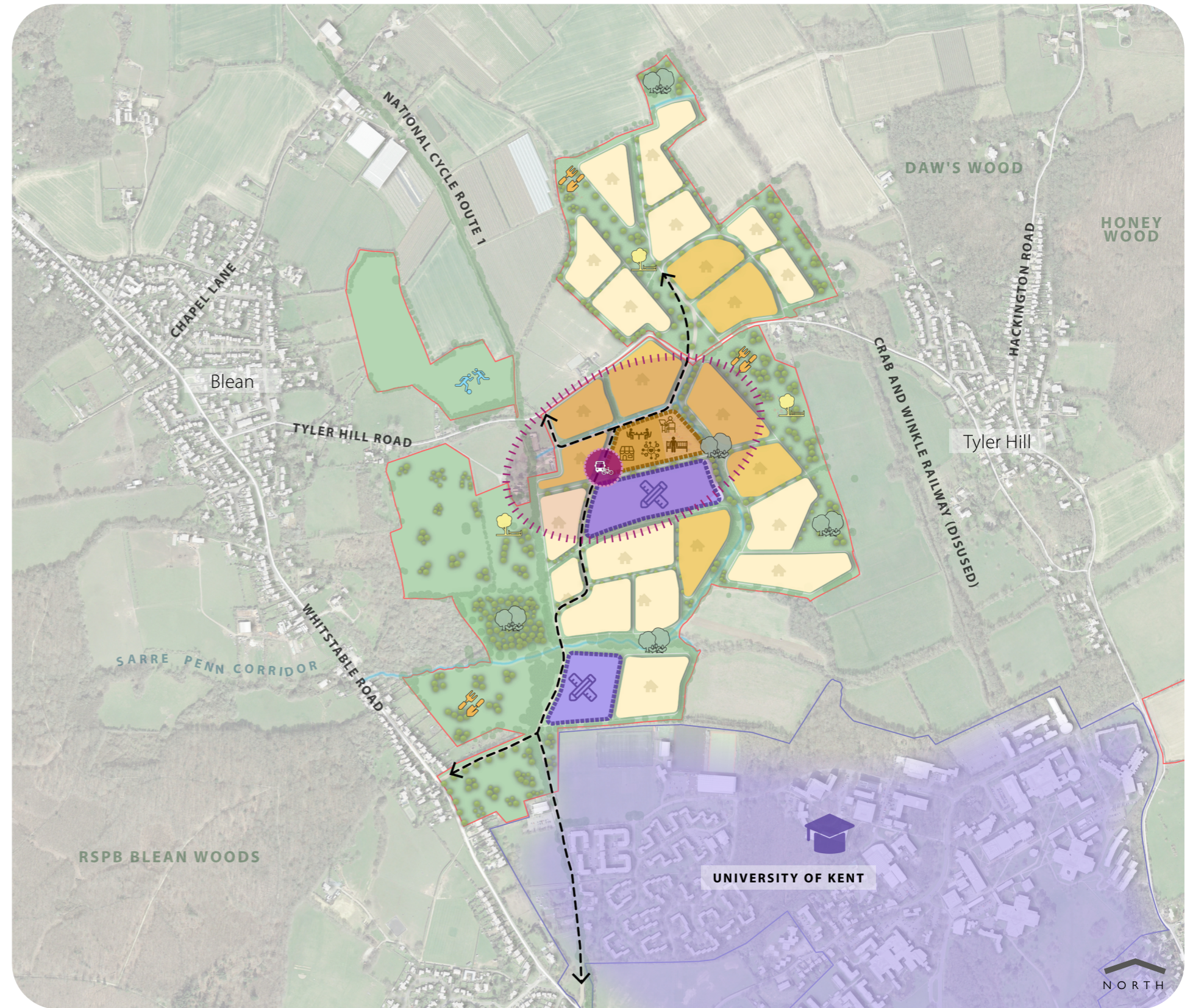
- Flexible housing solutions
- Shared living space or
- Separate facilities

Later living

- Fully accessible flats and smaller houses
- Extra-care facilities

Families

- 2-4 bed houses
- Convenient parking
- Opportunity to work from home
- Various garden sizes
- Partly and fully accessible homes



Key

- Site boundary
- Primary school education
- ↔ Spine road
- Community hub
- Higher density parcels (up to 50 dwellings per hectare)
- Indicative location for higher densities / potential later living
- Lower density parcels (up to 40 dwellings per hectare)
- Indicative location of mobility hub
- Influence from the University of Kent

A vibrant new community strategy



